

House Size Makes Good Neighbors

Zoning Issues
for Southold

Hamptons house:
110,000 sq. ft. of bldgs.,
62,000 main house,
on 63 acres



“Future planning shall be compatible with existing community character while supporting and addressing the challenges of continued land preservation, maintaining a vibrant local economy, creating efficient transportation, promoting a diverse housing stock, expanding recreational opportunities and protecting natural resources.”

*Southold Town
Comprehensive Plan
Vision Statement,
Adopted August 2020*



Introductions

Southold Town Civics Representatives:

- Drienne Benner, President, Orient Association
- Barbara Best, President, Cutchogue Civic Association
- Anne Murray, President, East Marion Community Association
- George Cork Maul, Director, New Suffolk Civic Association
- Anne Smith, President, Mattituck-Laurel Civic Association
- Mark Riesenfeld, Board Member, Orient Association

Discussion Outline

Purpose and Process

House Size

- Why limit it?
- How big is big?
- Where is Southold today?

Limiting House size

Next Steps

Purpose

1. **Share** with the Town Board the process the Civics have used
2. **Request action** by the Town Board to develop and propose zoning code changes to preserve community character by limiting house size
3. **Request action** by the Town Board to adopt Town Code Changes to limit single family house size by July/August 2021

House Size is One Issue Among Many - The Comprehensive Plan is the Big Picture

1. House size and attainable housing are our shared interests, achievable goals
2. Every civic association has multiple priority issues by hamlet
 - Mattituck-Laurel Civic Association
 - New Suffolk Civic Association
 - Cutchogue Civic Association
 - East Marion Community Association
 - Orient Association
3. Meanwhile, it is important to run parallel tracks on other issues

The Process for Defining Shared Priorities

Southold Town Civics Convening

- Months of bi-weekly meetings
- Comparison of shared issues
- Convergence on common issues
- Agreement on a first priority which meets dual objectives while collaborating on parallel tracks
- Identification of high impact, achievable objectives: limit house size

Why? Goal of Southold Town Comprehensive Plan

Ch. 3 - Land Use & Zoning: Goal 2 - Review and Update Zoning Town-Wide

Objective 2.2 Review zoning for residential districts.

B. Size of Future Homes:

1. Revisit the lot coverage in the bulk schedule for residential districts, especially as it relates to larger lot sizes and those located within Special Flood Hazard Areas.
2. Revisit the setbacks and maximum building height, especially on non-conforming lots, to ensure that neighboring homes are not adversely affected by new houses...

Why Limit House Size in the Town Code?

1. Satisfy a Goal of the Comprehensive Plan
2. Preserve community character that is supported by zoning while respecting individual rights
3. Balance economic development and quality of life
4. Prevent dwarfing or visually overwhelming adjacent properties
5. Protect scenic views and architectural quality

What is House Size? When is “big” too big?

1. The actual and perceived bulk/mass of a house
2. Perception in the context of our neighborhoods and community

When is “big” too big?



~2,200 sq. ft.



~6,000 sq. ft.



~8,000 sq. ft.

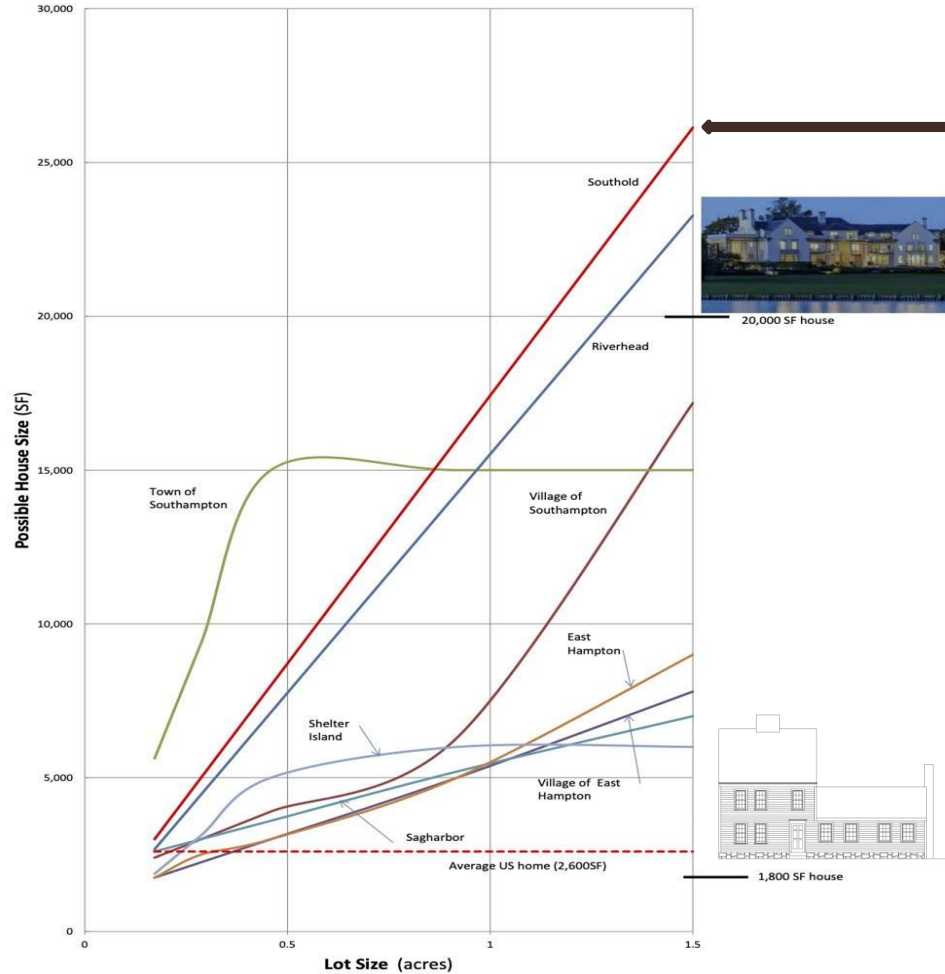


~16,000 sq. ft.

When is “big” too big?

- Our community once walked within nature – now we walk among landscaped big homes
- Replacement Homes are Larger, Out-of-Scale
- Replacement Homes are Changing the Nature of the Neighborhood
- Large homes replaced by LARGER homes
- Trees cut and lawns landscaped
- How can our water quality be protected? How much water does a big home use?
- What house size overwhelms a neighborhood? When is it out-of-scale?

Where is Southold Today?



Here: the largest house sizes possible on the East End

Formulas to Determine House Size

Absolute Square Foot Maximum: None. Southold only East End Town with **NO** absolute square footage maximum

Lot coverage: Maximum 20%

Set-backs from all property lines

Building height: 35' for flat or between eaves & peak at mid-point of peaked, 2 ½ stories of any ceiling height

Comparison of House Size Maximums

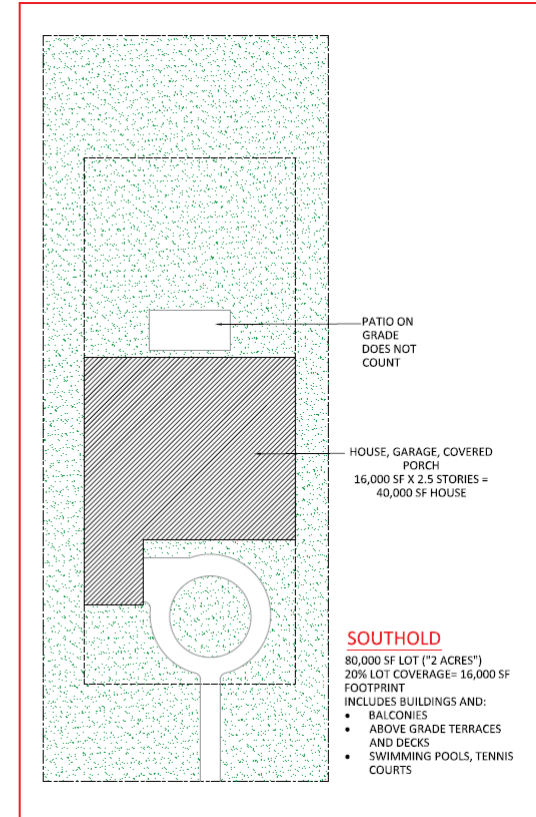
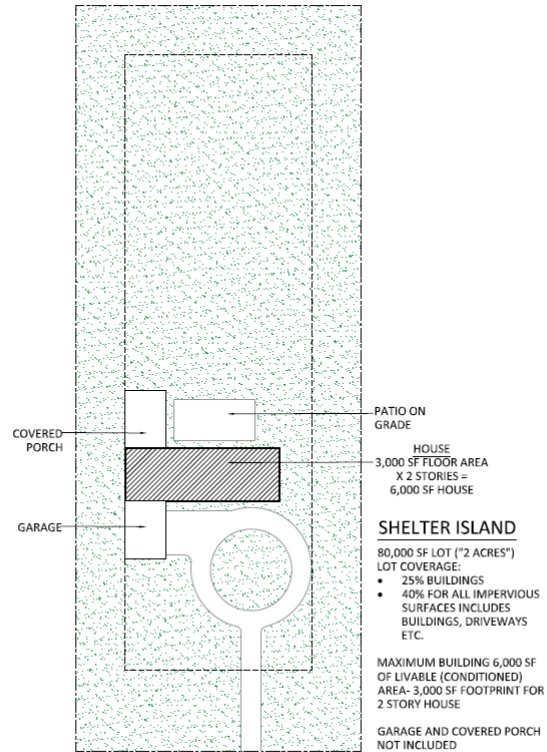
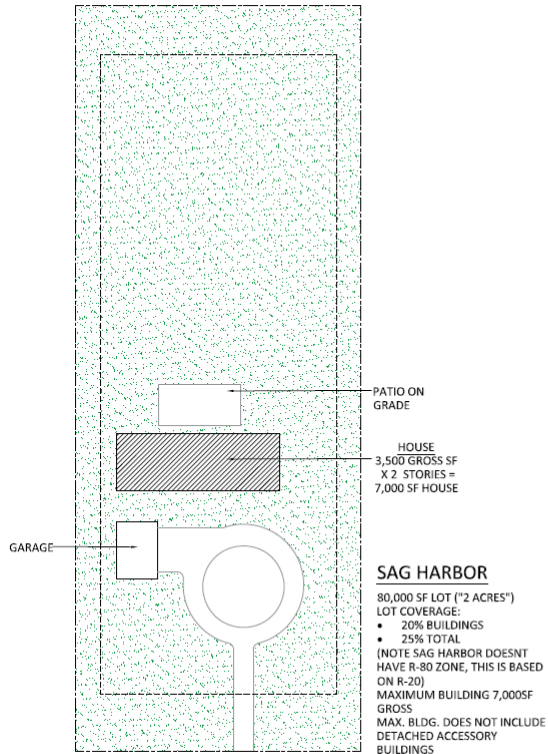
Sag Harbor: up to 7,000 sq. ft.

Shelter Island: up to 6,000 sq. ft. living (heated and/or cooled area)max. or 25% of lot whichever is less

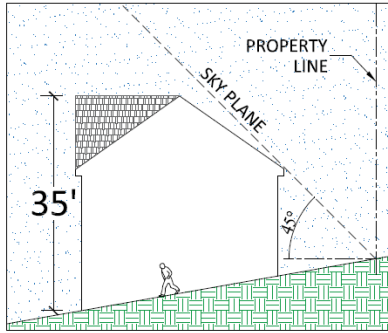
Village of East Hampton: ½ acre lot = 3,100 sq. ft., 1.5 acre = 6,774 sq. ft. Up to 20,000 sq. ft. on larger lots

Southold: No gross floor area maximum

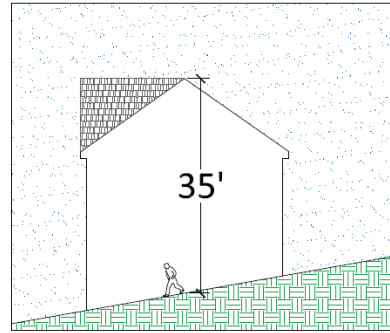
Lot Coverage- House Footprint



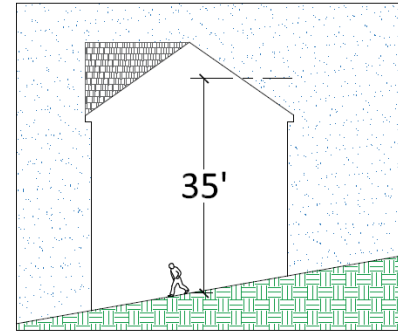
House Height



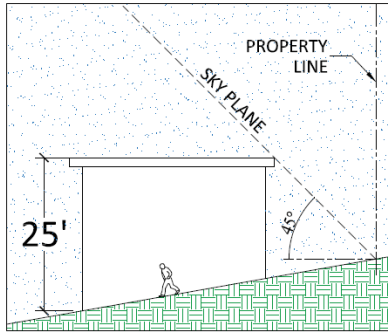
SLOPED ROOF



SLOPED ROOF



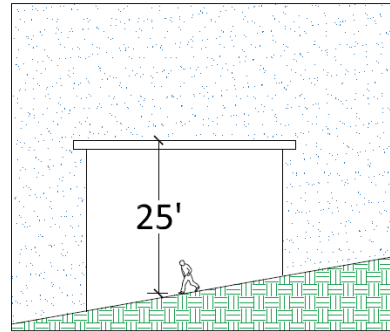
SLOPED ROOF



FLAT ROOF
SAG HARBOR

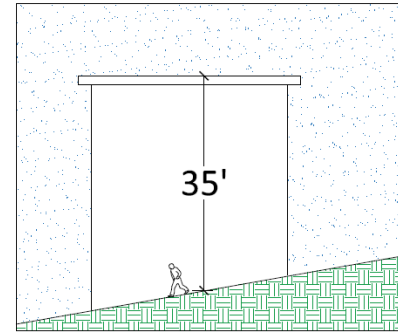
MEASURED AT HIGH POINT TO
NATURAL GRADE BELOW

MUST BE WITHIN SKYPLANE MEASURED AT
45° ANGLE FROM PROPERTY LINES



FLAT ROOF
SHELTER ISLAND

MEASURED AT HIGH POINT TO
AVERAGE NATURAL GRADE



FLAT ROOF
SOUTHOLD

MEASURED AT HIGH POINT OF FLAT ROOF OR MIDPOINT
OF SLOPED ROOF TO AVERAGE NATURAL GRADE

Current Southhold House Sizes by Lot Size

~½ acre = 4,000 sq. ft. max. footprint = **10,000** sq. ft. house

~1 acre = 8,000 sq. ft. max. footprint = **20,000** sq. ft. house

~2 acres = 16,000 sq. ft. max. footprint = **40,000** sq. ft. house

20% of lot coverage at max. 2.5 stories high for R-40, R-80 zones

Limiting House Size in the Code - Considerations

1. **Limit maximum gross floor area:**

Establish appropriate maximum gross floor area limitation based on lot size with an absolute maximum size regardless of lot size

2. **Allow flexibility:**

Establish regulations regarding non-conforming sizes

3. **Neighborhood Compatibility:**

Establish guidelines for variance up to 125% of existing neighborhood development to allow modifications within scope of community character

Next Steps

1. Resolve to take action to develop recommended code changes to limit house size
2. Convene public meetings to review proposed code changes in addition to Town Board work sessions and/or Code Committee meetings
3. Schedule review of final draft of code changes for adoption by the Town Board in July/August 2021

Thank You

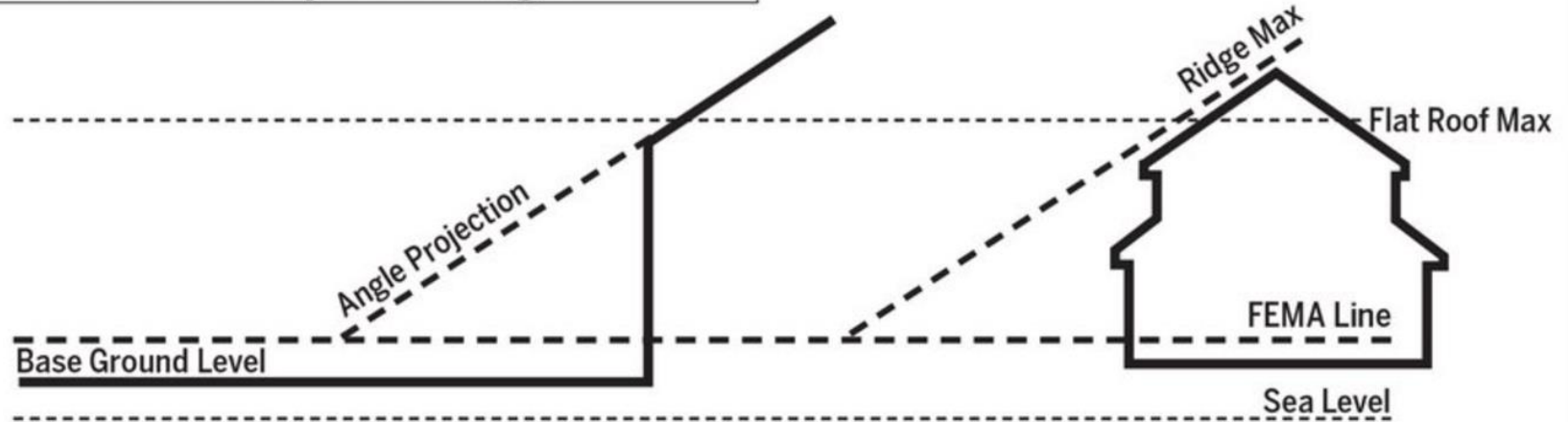
The Civics will support Town's effort to host meetings and build consensus and host attainable housing forums in Southold Town.

We will do what it takes to make this happen.

Appendix

Example of a Pyramid Law in Southampton

How Degrees Determine House Height In Southampton Village



The slanted line against the side of the house at right shows the angle under which the house would have to fall to meet sky plane regulations. The slanted line at left shows the same angle from the front of the house.

KERRI CUNNINGHAM PACE/SOUTHAMPTON VILLAGE

Sag Harbor House Size:

Maximum gross floor area in the R-20 and OD Districts. The gross floor area of any one-family detached dwelling shall not exceed the permitted gross floor area calculated as follows:

- (a) Lots of 6,250 square feet or less: 2,500 square feet gross floor area.
- (b) Lots greater than 6,250 square feet and less than 25,000 square feet: 2,500 square feet gross floor area plus (lot area minus 6,250 square feet) times (0.08).
- (c) Lots 25,000 square feet or greater: 4,000 square feet gross floor area plus (lot minus 25,000 square feet) times (0.08). **In no case shall the gross floor area exceed 7,000 square feet.**

[Amended 6-13-2017 by L.L. No. 9-2017]

Sag Harbor's Pyramid, Flat Roof & Greenery

In the R-20 One-Family Residence District, all buildings and structures, except chimneys and decorative railings, must remain inside the sky plane of the lot. The sky plane shall begin at the property lines at the elevation of the existing natural grade, and extend to the building or structure at an angle of 45°. The height limitation in the Table of Dimensional Regulations shall not be exceeded.[2]

Notwithstanding the height limitations set forth in the dimensional regulations, the maximum height in feet for any residential building located in a residential zoning district with a roof pitch flatter than 6/12 (i.e., six inches of rise for every 12 inches of run) shall be limited to 25 feet. This twenty-five-foot limitation shall include the railing height required pursuant to the Uniform Fire Prevention and Building Code of the State of New York.

R-20 - Minimum natural or fertilized vegetation 50% of lot

Nonconforming Lots-Southold

§ 280-124 **Nonconforming lots.**

[Amended 11-28-1995 by L.L. No. 23-1995]

- A. This section is intended to provide minimum standards for granting of a building permit for the principal buildings of lots which are recognized by the Town under § 280-9, are nonconforming and have not merged pursuant to § 280-10.
- B. Such lot shall be required to meet the following:
[Amended 3-4-1997 by L.L. No. 5-1997]

Area (square feet)	Lot Coverage	Yard			
		Front (feet)	Side (feet)	Both Sides (feet)	Rear (feet)
200,000 to 399,999	5%	60	30	60	100
120,000 to 199,999	10%	60	30	60	85
80,000 to 119,999	20%	60	20	45	75
60,000 to 79,999	20%	55	20	45	75
40,000 to 59,999	20%	50	20	40	60
20,000 to 39,999	20%	40	15	35	50
Less than 20,000	20%	35	10	25	35

Current Southold Zoning Code Size/Set-Back/Lot Coverage

Column No.	i	ii	iii	iv	v	vi	vii	ix	x	xi	xii
District	A-C	R-40	R-80	R-120	R-200	R-400	HD	RR	RO	Residential Unit Where Community Water and Sewer Available	2-Family Detached Dwellings in R-80 District
Minimum requirements for 1-family detached dwellings ¹											
Lot size (square feet)	80,000	40,000	80,000	120,000	200,000	400,00	20,000	20,000	40,000	10,000	160,000
Lot width (feet)	175	150	175	200	270	270	75	75	150	60	270
Lot depth (feet)	250	175	250	300	400	400	120	120	175	80	400
Front yard (feet)	60	50	60	60	60	60	35	35	50	30	60
Side yard (feet)	20	15	20	30	30	30	15	15	15	15	30
Both side yards (feet)	45	35	45	60	60	60	30	30	35	30	60
Rear yard (feet)	75	50	75	85	100	100	35	35	50	30	85
Livable floor area (square feet per dwelling unit)	850	850	850	850	850	850	850 ²	850 ³	850	850	850
Maximum permitted dimensions:											
Lot coverage (percent)	20	20	20	10	5	5	25	25	20	25	10
Building height (feet)	35	35	35	35	35	35	35	35	35	35	35
Number of stories	2½	2½	2½	2½	2½	2½	2½	2½	2½	2½	2½