

F.O.I.L. (APPROVED PLANS) FOR APPT.'S

# 123 Sterling Ilc

123 Sterling Avenue      Greenport, New York

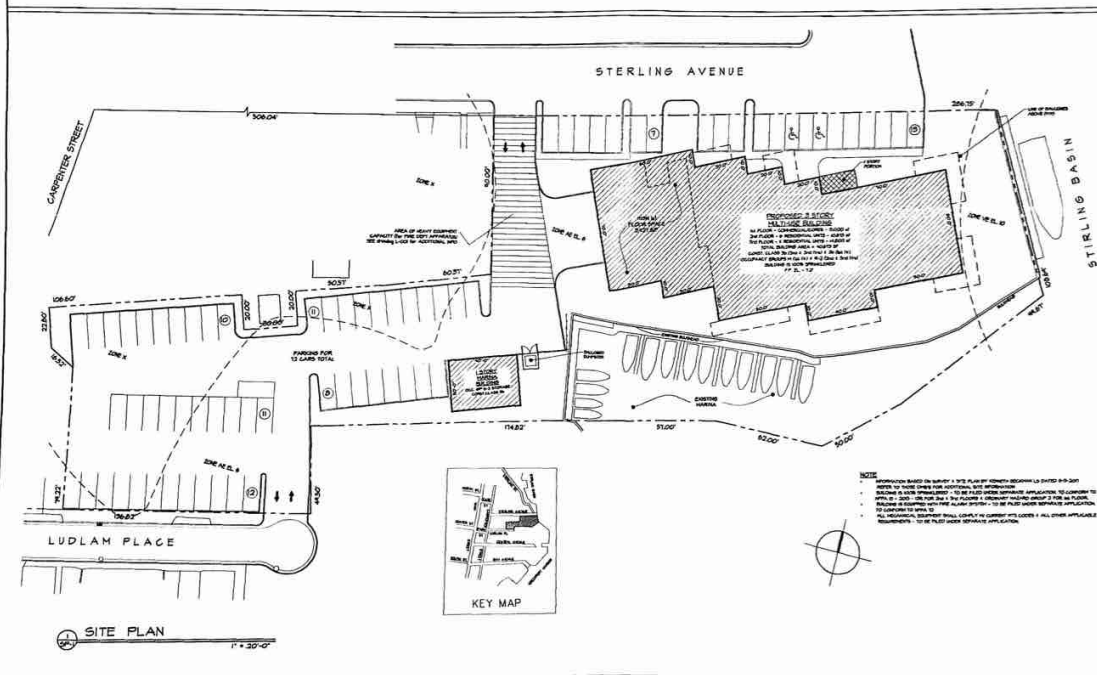
**DAA**   
**DiGiovanni & Associates**  
**Architects**

25 Jackson Avenue  
 West Islip, NY 11797  
 (516) 871-3025  
 Fax: (516) 798-7718

15-100



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REVISIONS

NO REVISIONS

123 Sterling Ilc  
 123 Sterling Avenue  
 Greenport, New York

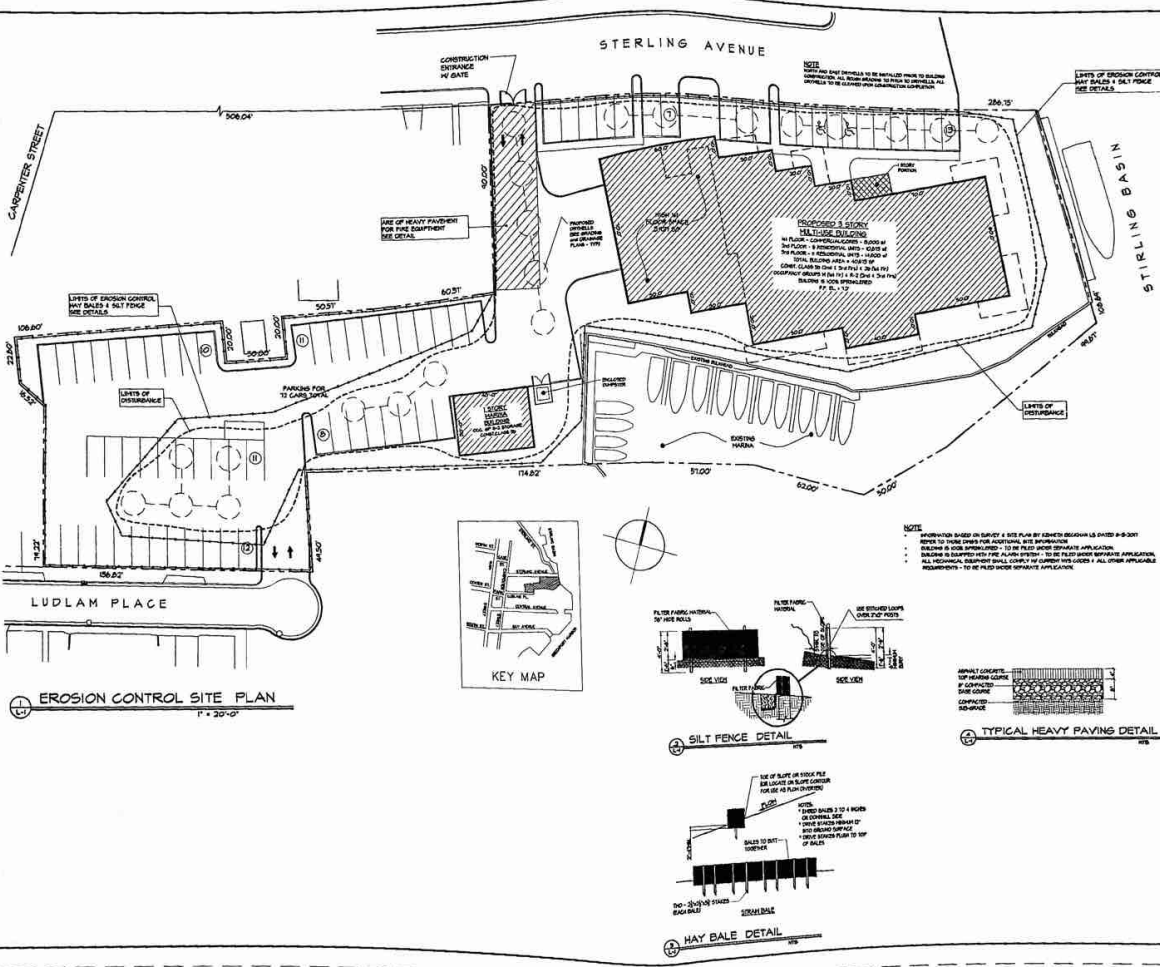
SITE PLAN

07020  
 A-001

DATE: 07/08  
 DRAWN BY: JMS  
 CHECKED BY: JMS

**NOTES:**  
 1. ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
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**DAA**

**DiGiovanni & Associates Architects**

28 PERSON PERSONNEL  
 144 C.E.T. BY 11/87  
 118 E.T. BY 12/88  
 100 E.T. BY 12/88

18-000

18-000

**REVISIONS**

NO.	DATE	DESCRIPTION
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**123 Sterling llc**

123 Sterling Avenue  
Greenport, New York

**EROSION CONTROL PLAN & DETAILS**

2/20/20

**L-001**

DATE: 1/20/20

DRAWN BY: JVS

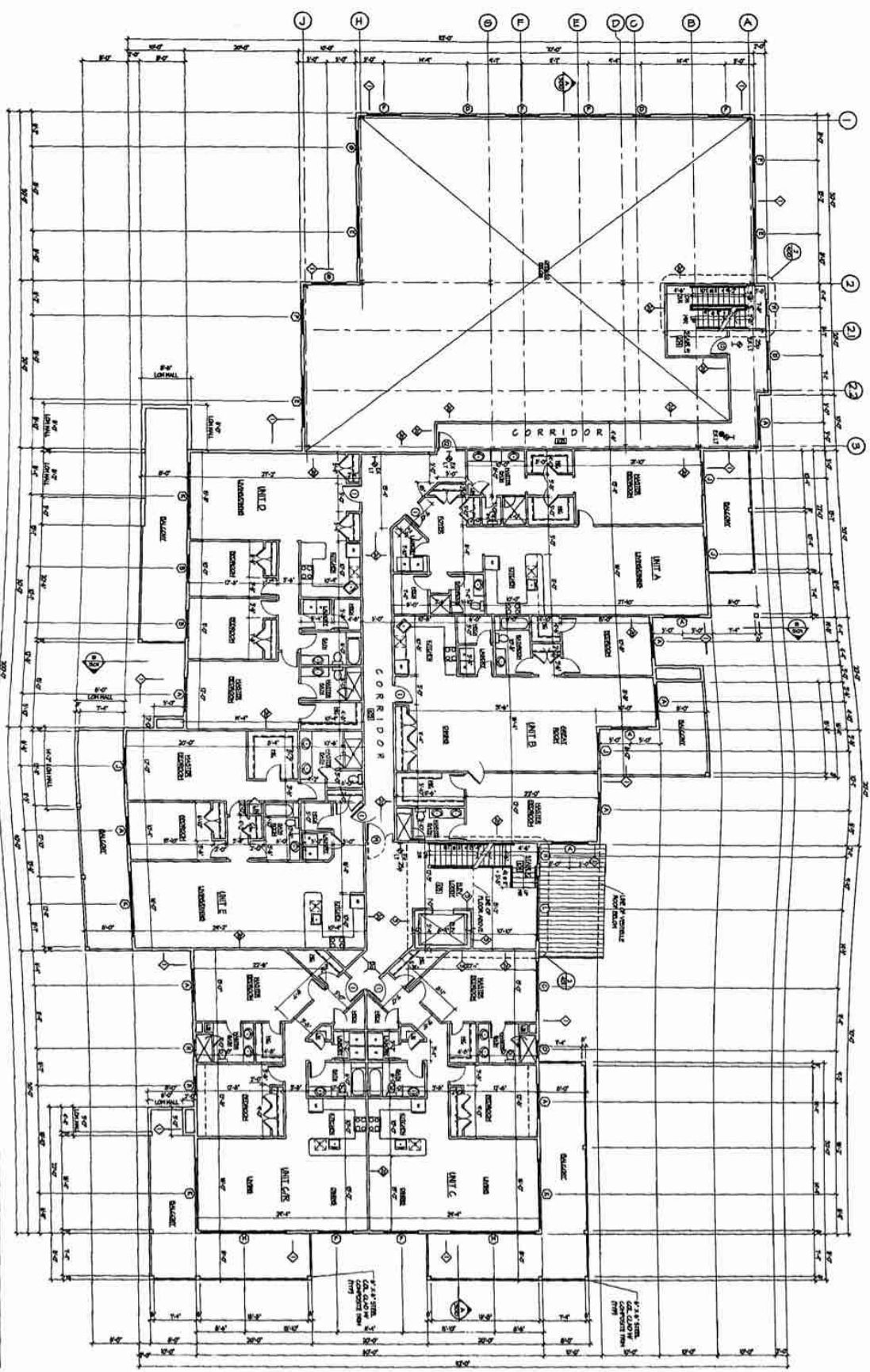
CHECKED BY: JVS

APPROVED BY: JVS





**SECOND FLOOR PLAN**  
1/8" = 1'-0"



**NOTE:**  
ALL FINISHES AND MATERIALS ARE TO BE DETERMINED BY THE ARCHITECT IN CONSULTATION WITH THE CLIENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

DESCRIPTION	DATE	BY	FOR
DESIGN DEVELOPMENT	01/15/08	JAL	ARCHITECT
PERMITTING	02/01/08	JAL	ARCHITECT
CONSTRUCTION	03/01/08	JAL	ARCHITECT
FINAL	04/01/08	JAL	ARCHITECT

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200 WEST 115TH  
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FAX: (212) 759-7198

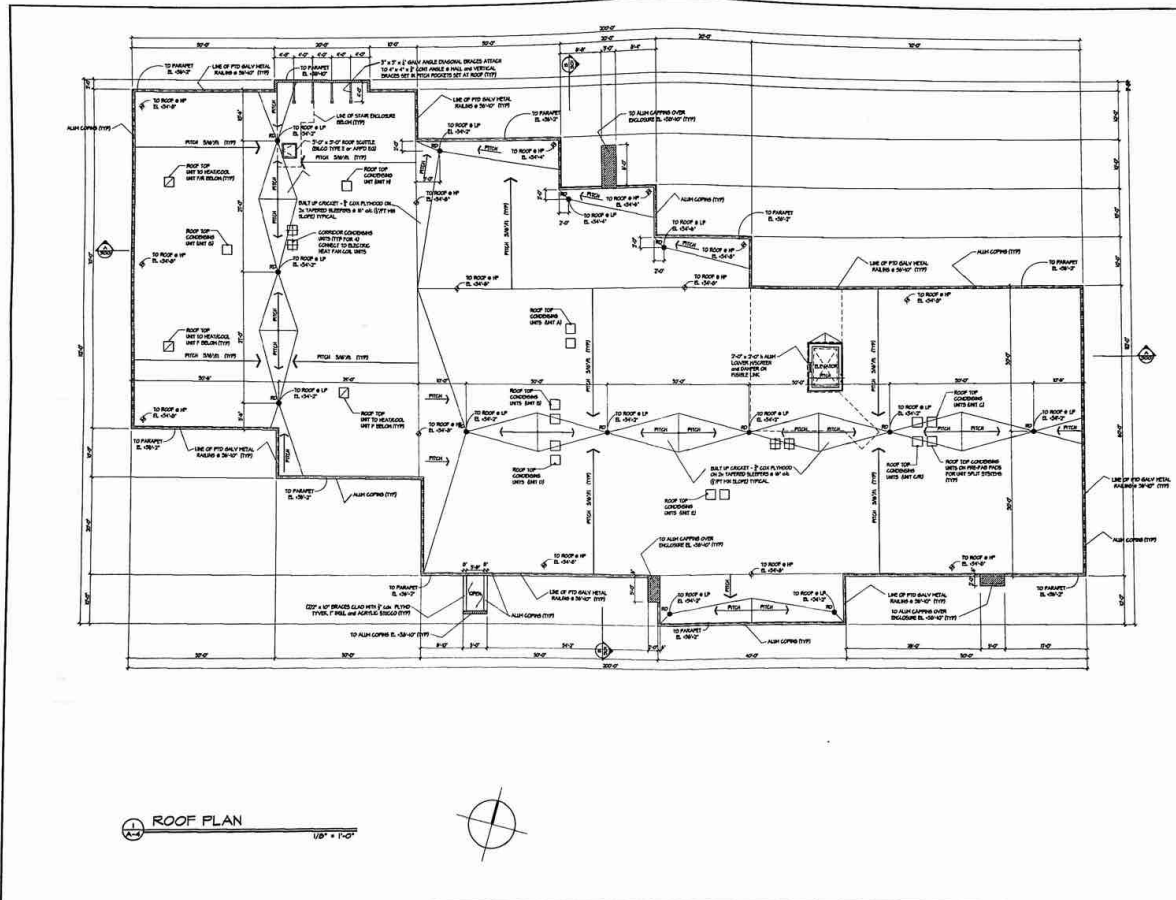
123 Sterling  
llc  
123 Sterling Avenue  
Greensport, New York

**SECOND FLOOR PLAN**

**A-102**

DATE: 01/15/08  
BY: JAL





**DAA**

**DiGiovanni & Associates Architects**

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 GREENPORT, NY 11979  
 631-877-1525  
 FAX 631-759-7138

10-00

10-00

REVISIONS

THIS PLAN AND ALL INFORMATION OF RECORD ARE THE PROPERTY OF THE ARCHITECT. ANY CHANGES OR MODIFICATIONS SHALL BE MADE BY THE ARCHITECT. ANY CHANGES MADE TO THIS PLAN SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.

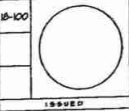
123 Sterling  
 llc  
 123 Sterling Avenue  
 Greenport, New York

ROOF  
 PLAN

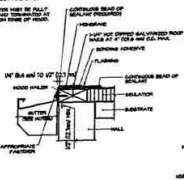
DATE: 01/20/08  
 DRAWN BY: JAS  
 CHECKED BY: JAS  
 PROJECT NO: A-104





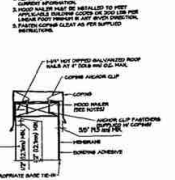


- NOTE:**
1. REFER TO SUB-LIST ABOVE FOR HOIST CURRENT SPECIFICATIONS.
  2. INSULATE AND VAPOR-CURRY UNDER HOIST AND ABOVE HOIST TO FACE OF ALL R.I.C. BRACKETS.
  3. PROVIDE BRACKETS TO HOIST AND HOIST BRACKET TO FACE OF ALL R.I.C. BRACKETS.
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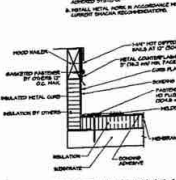
**DETAIL - ROOF EDGE**  
NTS

- NOTE:**
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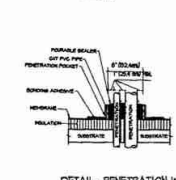
**DETAIL - TERMINATION AT TOP OF WALL WITH GOFING**  
NTS

- NOTE:**
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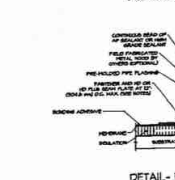
**DETAIL - TERMINATION AT G.R.B**  
NTS

- NOTE:**
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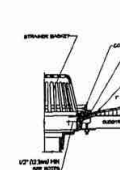


**DETAIL - PENETRATION WITH PITCH POCKET KIT**  
NTS

- NOTE:**
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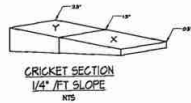
**DETAIL - PENETRATION WITH PIPE FLASHING**  
NTS



**DETAIL - ROOF DRAIN**  
NTS

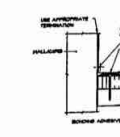


**DETAIL - WALKWAY PAD**  
NTS

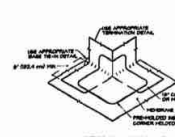


**CRICKET SECTION 1/4\"/>**

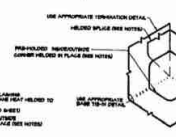
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**DETAIL - BASE TIE-IN WITH HD SEAM PLATE FASTENED TO DECK**  
NTS



**DETAIL - OUTSIDE CORNER**  
NTS



**DETAIL - INSIDE CORNER**  
NTS

**REVISIONS**

NO.	DESCRIPTION

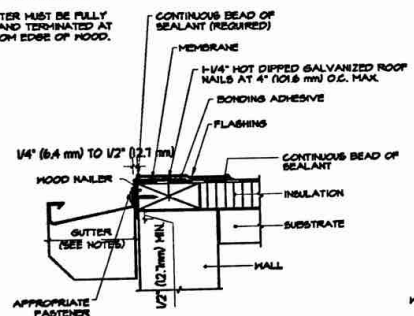
**123 Sterling llc**  
 123 Sterling Avenue  
 Greenvort, New York

**ROOF DETAILS**

DATE	BY	CHK	APP

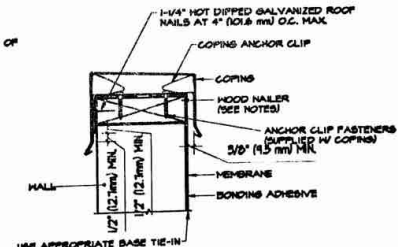
**A-105**

- NOTES:**
1. REFER TO DURO-LAST WEBSITE FOR MOST CURRENT INFORMATION.
  2. SEALANT IS REQUIRED ALONG ENTIRE UPSLOPE EDGE OF FLASHING WHEN ROOF SLOPE IS 1" (25.4 mm) PER FOOT OR GREATER.
  3. ROUND ALL METAL CORNERS AND PLACE BACK OF GUTTER STRAP 1/4" (6.4 mm) BELOW TOP OF HOOD NAILER.
  4. DO NOT PRE-NAIL MEMBRANE TO THE FACE OF THE HOOD NAILER.
  5. ANCHOR GUTTER IN ACCORDANCE WITH SHAGNA RECOMMENDATIONS.
  6. HOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT MINIMUM IN ANY GIVEN DIRECTION.
  7. FLANGE OF METAL GUTTER MUST BE FULLY SUPPORTED BY HOOD AND TERMINATED AT LEAST 1/2" (12.7 mm) FROM EDGE OF HOOD.



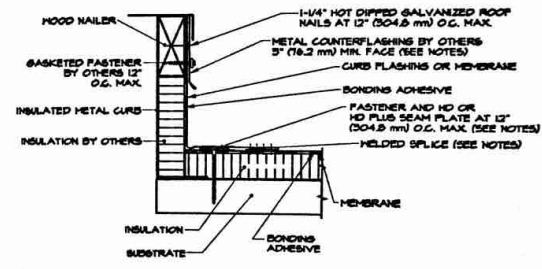
**DETAIL- ROOF EDGE**  
NT5

- NOTES:**
1. REFER TO DURO-LAST WEBSITE FOR MOST CURRENT INFORMATION.
  2. HOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT MINIMUM IN ANY GIVEN DIRECTION.
  3. FASTEN COPING GLEAT AS PER SUPPLIED INSTRUCTIONS.



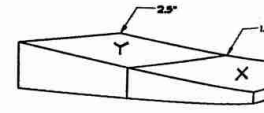
**DETAIL-TERMINATION AT TOP OF WALL WITH COPING**  
NT5

- NOTES:**
1. REFER TO DURO-LAST WEBSITE FOR MOST CURRENT INFORMATION.
  2. NAILING AND METAL COUNTERFLASHING ARE NOT REQUIRED IF MEMBRANE IS RUN UP AND OVER CURB WALLS PRIOR TO INSTALLATION OF RTJ.
  3. METAL COUNTERFLASHING SHALL BE 24 GAUGE PRE-FINISHED STEEL OR .052\"/>



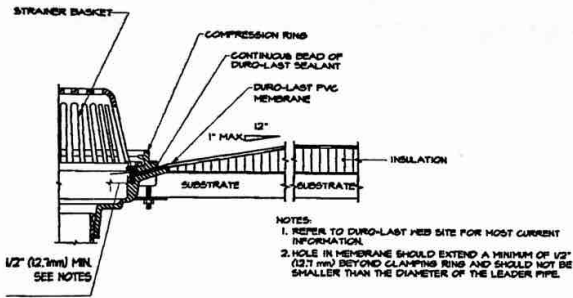
**DETAIL-TERMINATION AT CURB**  
NT5

- NOTES:**
1. REFER TO DURO-LAST WEBSITE FOR MOST CURRENT INFORMATION.
  2. HALFWAY SECTIONS SHOULD BE SPACED PROPERLY TO ALLOW FOR DRAINAGE. SPACING BETWEEN HALFWAY SECTIONS SHALL BE 1" (25.4 mm) MIN TO 5" (127.0 mm) MAX.



**CRICKET SECTION**

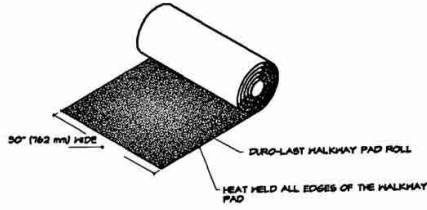
DETAIL - ROOF DRAIN  
NTS



DETAIL - ROOF DRAIN  
NTS

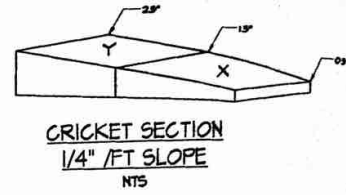
DETAIL - TERMINATION AT TOP OF WALL WITH COPING  
NTS

- NOTES:
1. REFER TO DURO-LAST WEB SITE FOR MOST CURRENT INFORMATION.
  2. WALKWAY SECTIONS SHOULD BE SPACED PROPERLY TO ALLOW FOR DRAINAGE. SPACING BETWEEN WALKWAY SECTIONS SHALL BE 1" (25.4 mm) MIN. TO 5" (127 mm) MAX.

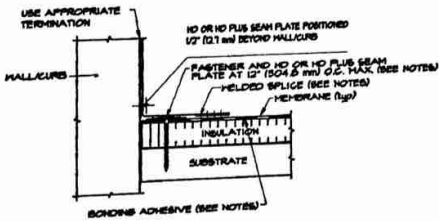


DETAIL - WALKWAY PAD  
NTS

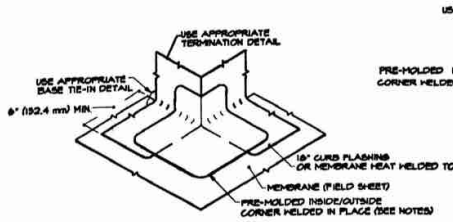
DETAIL - TERMINATION AT CURB  
NTS



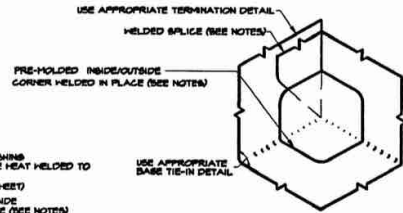
CRICKET SECTION  
1/4" / FT SLOPE  
NTS



DETAIL - BASE TIE-IN WITH HD SEAM PLATES FASTENED TO DECK  
NTS



DETAIL - OUTSIDE CORNER  
NTS



DETAIL - INSIDE CORNER  
NTS

**DAA**   
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 Associates  
 Architects**

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 fax(516) 739-7138

10-100



ISSUED

REVISIONS

NO CHANGES TO BE MADE TO THIS DRAWING UNLESS APPROVED BY THE ARCHITECT.  
 CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND CONDITIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF WORK. NO ALLOWANCE SHALL BE MADE FOR THE WORK OF THE CONTRACTOR FOR ANY OMISSIONS OR ERRORS OF THIS DRAWING.

123 Sterling  
 llc

123 Sterling Avenue  
 Greenport, New York

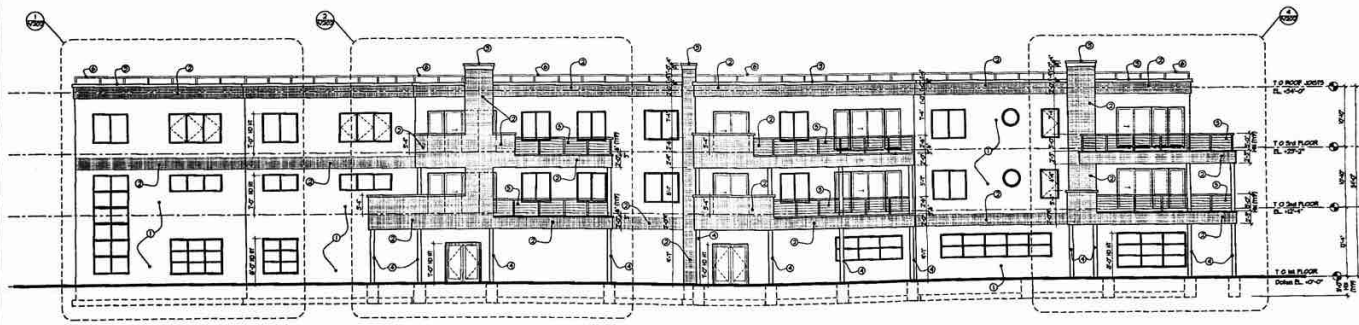
ELEVATIONS

DATE	BY	CHK	APP
10/20/00	JVS	JVS	CP

**A-200**

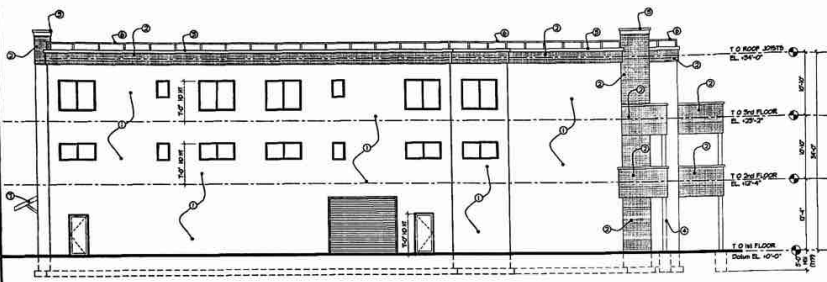


1 North Elevation  
 1/8" = 1'-0"

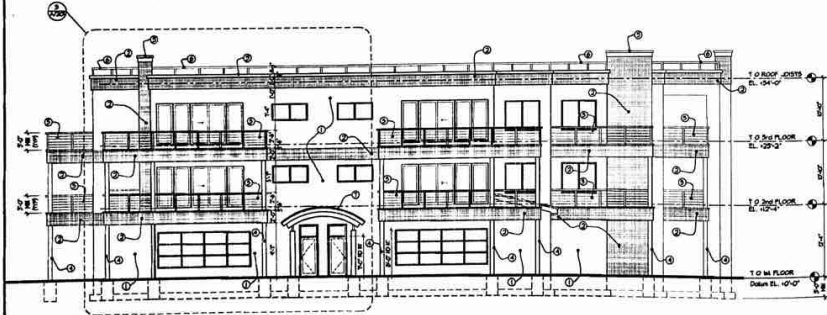


2 South Elevation  
 1/8" = 1'-0"

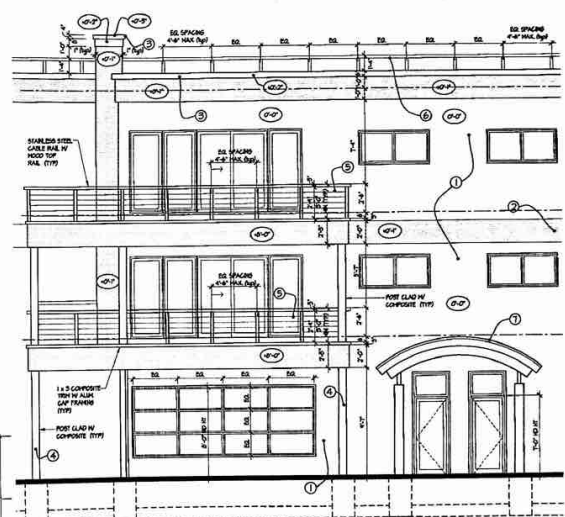
- KEY NOTES**
- ① - ACRYLIC STENCILS ON ROOF FLASHING (SCALE 1/2)
  - ② - ACRYLIC STENCILS ON ROOF FLASHING (SCALE 1/2) WITH 1/2" PROTRUSION
  - ③ - ALUMINUM CORNER TO WINDOW SILL
  - ④ - STEEL TUBE COLUMN CLAD WITH COMPOSITE TRIM
  - ⑤ - STAINLESS STEEL CABLE RAILING WITH HOOD TOP RAIL
  - ⑥ - GALVANNEZ RAILING (PAINTED)
  - ⑦ - STAINING SEAM METAL ROOFING
  - ⑧ - FACADE NIGHT DRAIN



East Elevation  
1/8" = 1'-0"



West Elevation  
1/8" = 1'-0"

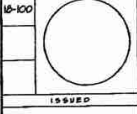


Partial North Elevation  
1/4" = 1'-0"

- KEY NOTES**
- ① - ACRYLIC STEEL ON RIGID INSULATION SOLER II
  - ② - ACRYLIC STEEL ON RIGID INSULATION SOLER 2 + F FRESH AIR PASSAGE
  - ③ - ALUMINUM COPING TO MATCH SINGLES
  - ④ - STEEL TUBE COLUMNS GLAZED WITH COMPOSITE TRIM
  - ⑤ - STAINLESS STEEL CABLE RAILING WITH WOOD TOP RAIL
  - ⑥ - GALVANIZED STEELING SPACERS
  - ⑦ - STAINLESS SEAM METAL ROOFING
  - ⑧ - FRANGE HEIGHT DIMEN

**DAA**  
DiGiovanni &  
Associates  
Architects

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Sea Cliff, NY 11579  
(516) 671-3624  
fax (516) 752-7138



REVISIONS

NO. DATE BY DESCRIPTION

1 10/20/08 J.S. 1

2 10/20/08 J.S. 2

3 10/20/08 J.S. 3

4 10/20/08 J.S. 4

5 10/20/08 J.S. 5

6 10/20/08 J.S. 6

7 10/20/08 J.S. 7

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10 10/20/08 J.S. 10

11 10/20/08 J.S. 11

12 10/20/08 J.S. 12

13 10/20/08 J.S. 13

14 10/20/08 J.S. 14

15 10/20/08 J.S. 15

16 10/20/08 J.S. 16

17 10/20/08 J.S. 17

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20 10/20/08 J.S. 20

123 Sterling  
I/c  
123 Sterling Avenue  
Greenport, New York

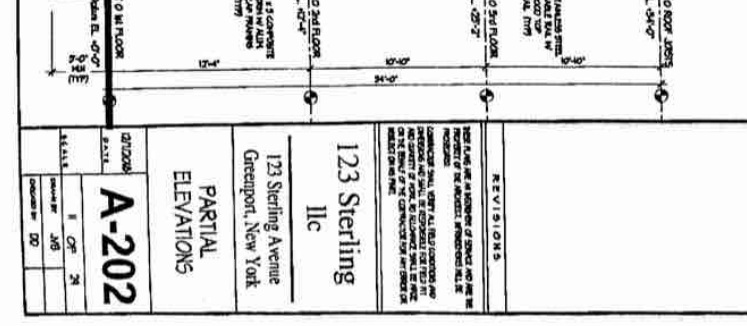
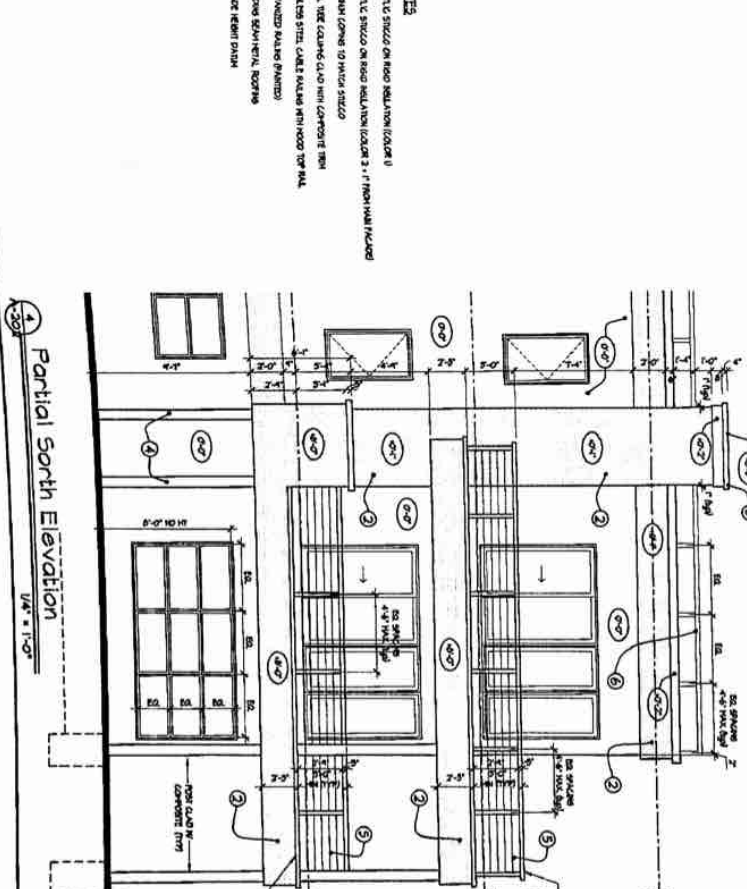
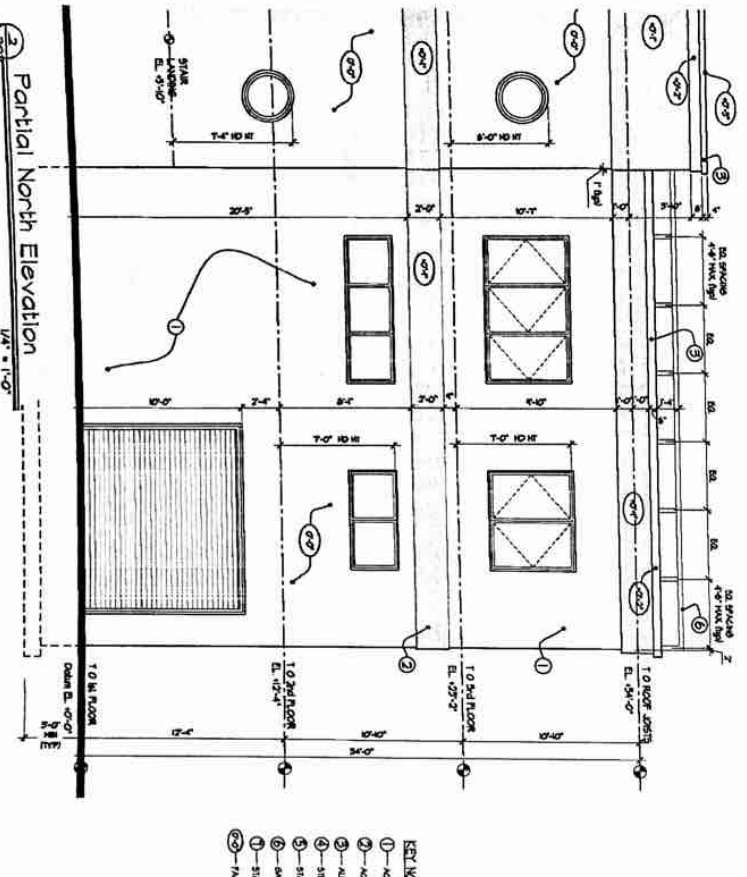
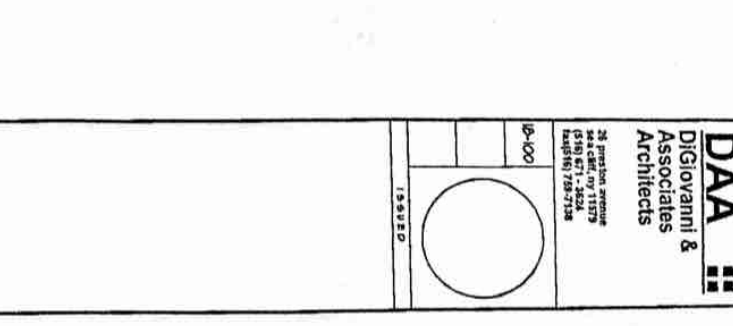
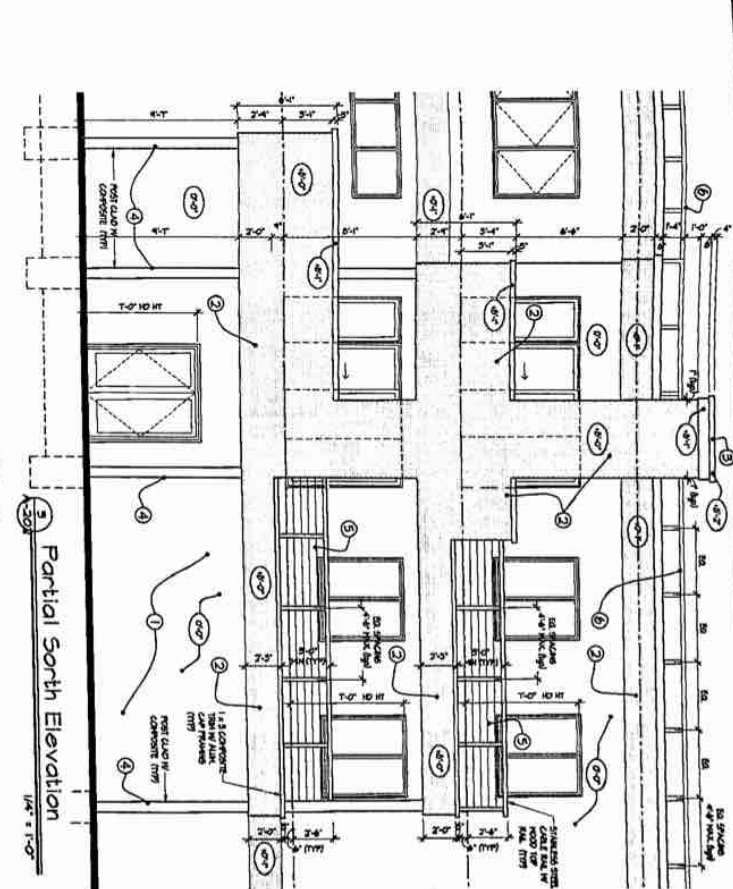
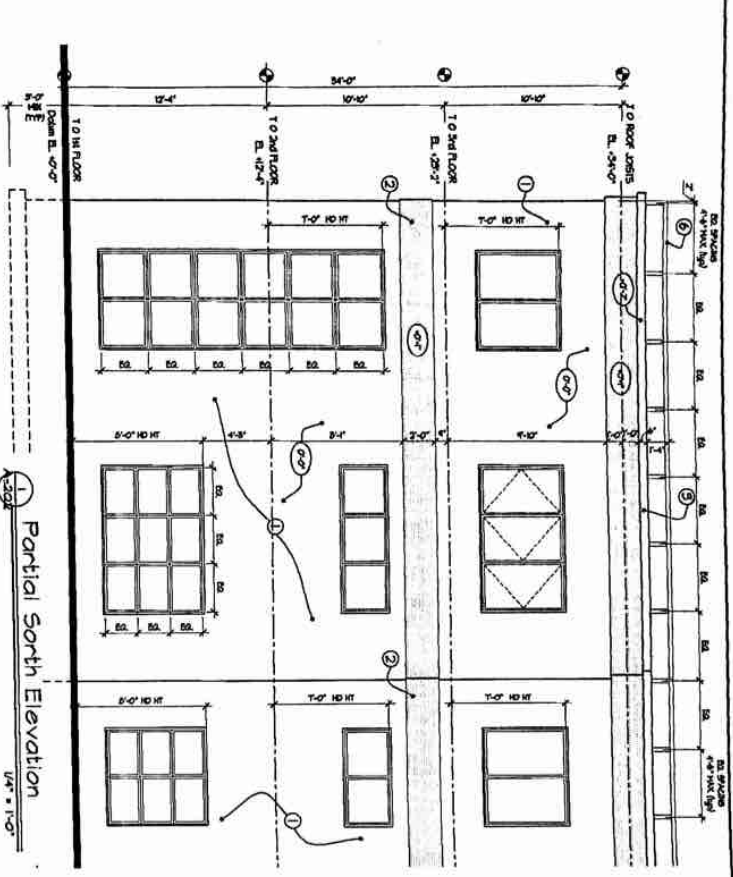
ELEVATIONS

DATE: 10/20/08

SCALE: A-201

BY: J.S.

CHECKED BY: DD

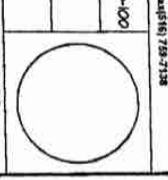


- KEY NOTES**
- 1 - ACETIC STUCCO ON ROOF INSULATION (COLOR 1)
  - 2 - ACETIC STUCCO ON ROOF INSULATION (COLOR 2 - 1" MINIMUM INCLINE)
  - 3 - ALUMINUM CORNER TO WINDOW SILL
  - 4 - STEEL WIRE GALVANIZED CLAD WITH CORROSION INHIBITOR
  - 5 - STAINLESS STEEL CABLE STAYS WITH HOOD TOP RAIL
  - 6 - GALVANIZED GALVAZ PANNING
  - 7 - STAINLESS STEEL/ALUMINUM ROOFING
  - 8 - TRUCKER REAR BUSH

**123 Sterling Ilc**  
 PARTIAL ELEVATIONS  
 123 Sterling Avenue  
 Greentown, New York

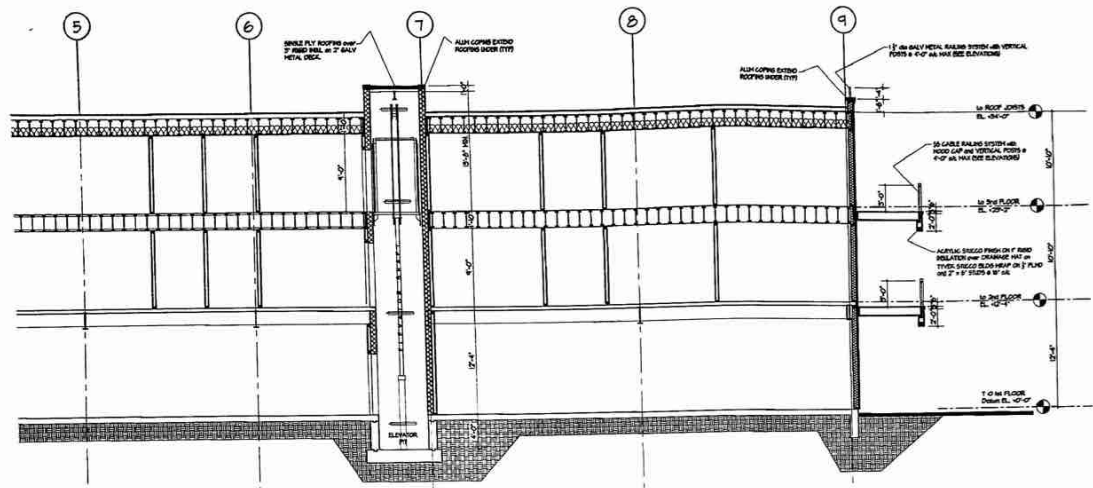
DATE	2/10/08
BY	10/21/08
SCALE	1/4" = 1'-0"
PROJECT	A-202
DESIGNER	10/21/08
DATE	10/21/08

**DAA**  
 ■■■  
**Digiovanni & Associates Architects**  
 26 Preston Avenue  
 4th Floor, NY 11578  
 (516) 461-7822  
 (516) 461-7823 FAX  
 (516) 461-7824

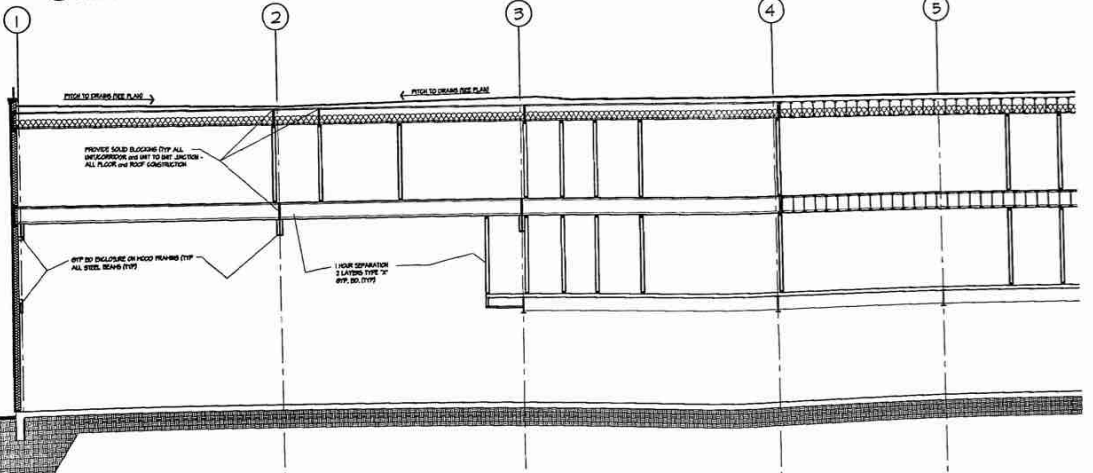


**REVISIONS**

FOR THE RECORD: THE ARCHITECT'S RESPONSIBILITY IS TO THE PROJECT AND NOT TO THE CLIENT'S WISHES. THE ARCHITECT'S RESPONSIBILITY IS TO THE PROJECT AND NOT TO THE CLIENT'S WISHES. THE ARCHITECT'S RESPONSIBILITY IS TO THE PROJECT AND NOT TO THE CLIENT'S WISHES.



Building Section A-A  
PART A  
3/16" = 1'-0"



Building Section A-A  
PART B  
3/16" = 1'-0"

- ROOF CONSTRUCTION**  
 1/2" GY BALDY METAL SLAB SYSTEM (SEE VERTICAL POINTS & 0'-0" AS NOTED ELEVATIONS)  
 25 LB/FT<sup>2</sup> BALDY METAL SLAB SYSTEM (SEE VERTICAL POINTS & 0'-0" AS NOTED ELEVATIONS)  
 1/2" GY BALDY METAL SLAB SYSTEM (SEE VERTICAL POINTS & 0'-0" AS NOTED ELEVATIONS)
- EXTERIOR HALL CONSTRUCTION**  
 ACQUITY BRICK OVER 2" RIGID INSULATION ON DRAINAGE HALL AS TYPICAL BRICK BLOCK HEAVY FRAME ALL SERVICE WALLS 2" CON. PLTY. ON 2" RIGID INSULATION 8" W/ 2" W/ 2" BRICK WALL AND 2" GYF. RE. (SEE PLAN, 0'-0" AS NOTED)
- INTERIOR HALL CONSTRUCTION**  
 2" RIGID INSULATION 8" W/ 2" W/ 2" BRICK WALL AND 2" GYF. RE. (SEE PLAN, 0'-0" AS NOTED)
- BALCONY CONSTRUCTION**  
 2" RIGID INSULATION 8" W/ 2" W/ 2" BRICK WALL AND 2" GYF. RE. (SEE PLAN, 0'-0" AS NOTED)
- FLOOR CONSTRUCTION (ALL FLOORS)**  
 1" 6" CON. PLTY. BRICK AND WALKER ON 2" RIGID INSULATION 8" W/ 2" W/ 2" BRICK WALL AND 2" GYF. RE. (SEE PLAN, 0'-0" AS NOTED)
- FLOOR CONSTRUCTION (GIRDER FLOORS)**  
 1" 6" CON. PLTY. BRICK AND WALKER ON 2" RIGID INSULATION 8" W/ 2" W/ 2" BRICK WALL AND 2" GYF. RE. (SEE PLAN, 0'-0" AS NOTED)
- FOUNDATION CONSTRUCTION**  
 CONCRETE AND SLAB OVER TO THE TOP OF CHAIRS SEE SURVEYOR'S DRAWING

**DAA**

**DiGiovanni & Associates Architects**

25 percent approval  
 No. 0087 01 11375  
 (516) 871-3824  
 dan@dga.com 736-7126

15-00

ISSUED

REVISED

THIS PLAN AND ALL DIMENSIONS OF STRUCTURE AND THE POSITION OF THE SAME IS APPROVED BY THE ARCHITECT.

123 Sterling Ilc  
 123 Sterling Avenue  
 Greenvale, New York

BUILDING SECTION

DATE: A-300

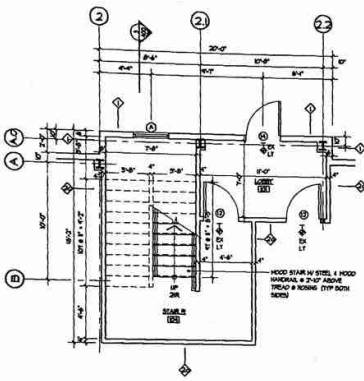
SCALE: 1/8" = 1'-0"

DESIGNED BY: JMS

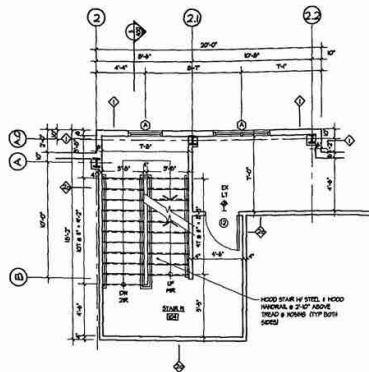
DRAWN BY: DD



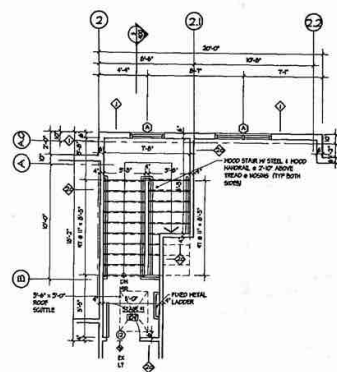




1  
100 STAIR #1 1st FLOOR PLAN  
1/4" = 1'-0"




2  
100 STAIR #1 2nd FLOOR PLAN  
1/4" = 1'-0"



3  
100 STAIR #1 3rd FLOOR PLAN  
1/4" = 1'-0"



**DAA**   
 DiGiovanni &  
 Associates  
 Architects  
 26 Preston Avenue  
 Westfield, NY 11079  
 (516) 671-5624  
 fax (516) 759-7138

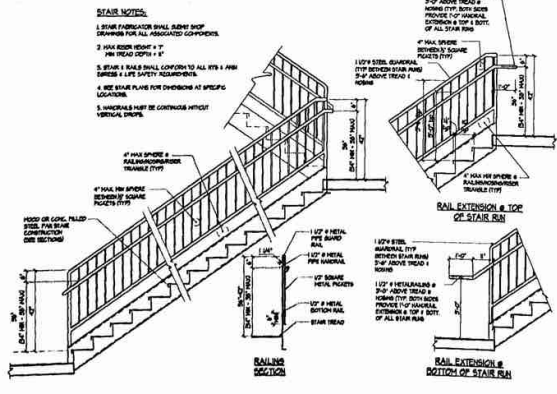
18-100  
  
 ISSUED

REVISIONS  
 THIS DRAWING IS THE PROPERTY OF DAA AND WILL BE  
 RETURNED TO THE ARCHITECT UNLESS OTHERWISE NOTED  
 CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND  
 CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY  
 IN THE EVENT OF ANY DISCREPANCY FOR ANY OMISSION OR  
 ERROR ON THIS DRAWING

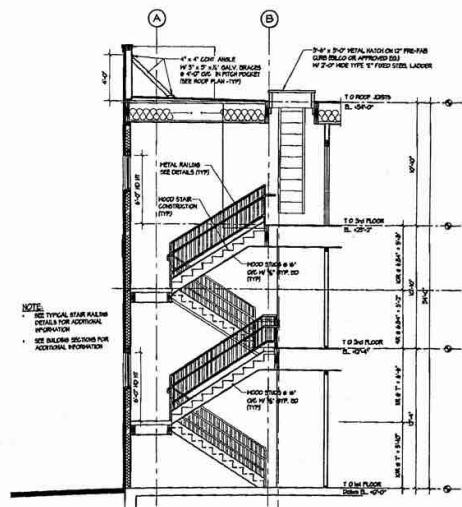
123 Sterling  
 llc  
 123 Sterling Avenue  
 Greenvale, New York

STAIR #1  
 PLANS & SECTION

07/20/09  
**A-400**  
 DATE: 11 07 09  
 DRAWN BY: JWB  
 CHECKED BY: JWB



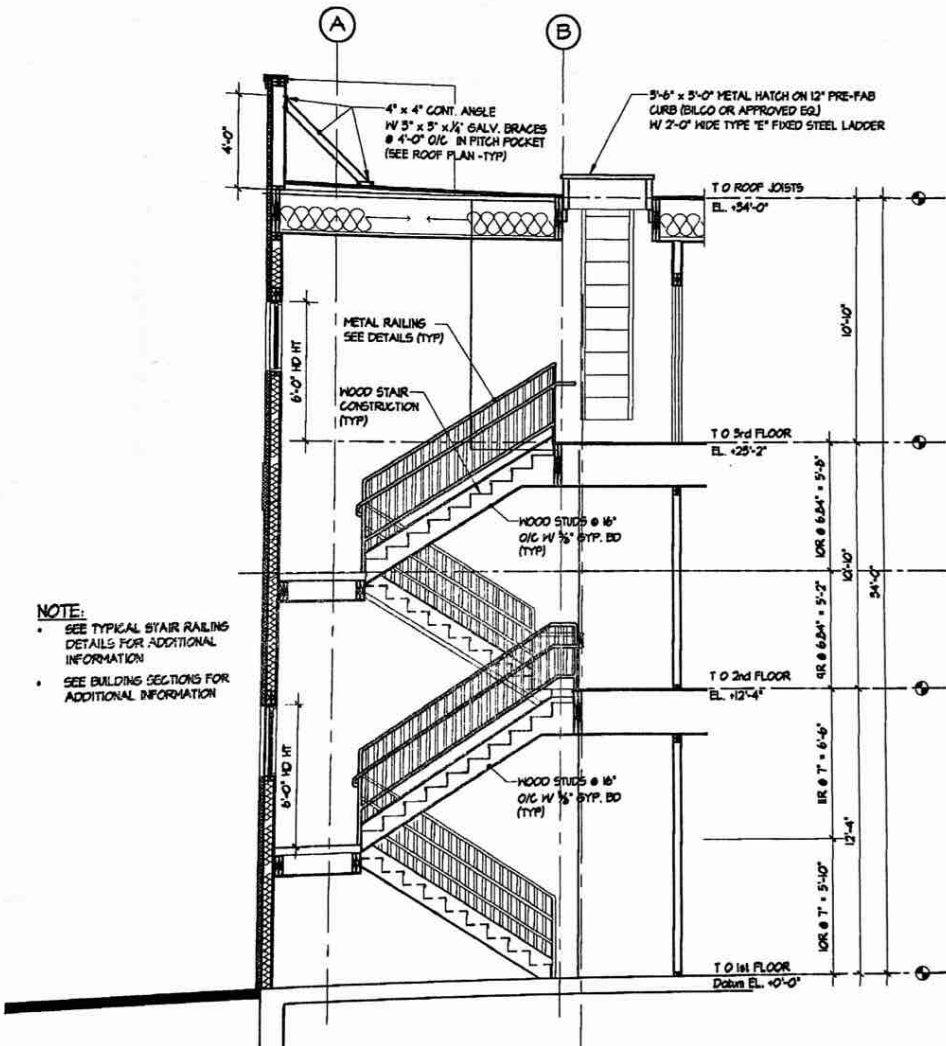
4  
100 TYPICAL RAILING DETAILS  
1/4" = 1'-0"



5  
100 STAIR #1 SECTION  
1/4" = 1'-0"

**3**  
**400** STAIR #1 3rd FLOOR PLAN

1/4" = 1'-0"



**NOTE:**  
 • SEE TYPICAL STAIR RAILING DETAILS FOR ADDITIONAL INFORMATION  
 • SEE BUILDING SECTIONS FOR ADDITIONAL INFORMATION

**3**  
**400** STAIR #1 SECTION

1/4" = 1'-0"

**REVISIONS**

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.

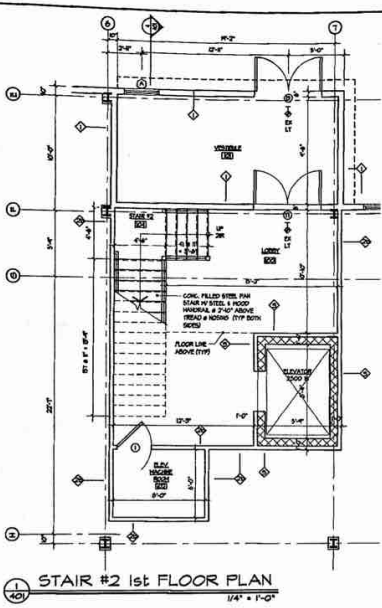
CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCE SHALL BE MADE ON THE BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.

123 Sterling  
Ilc

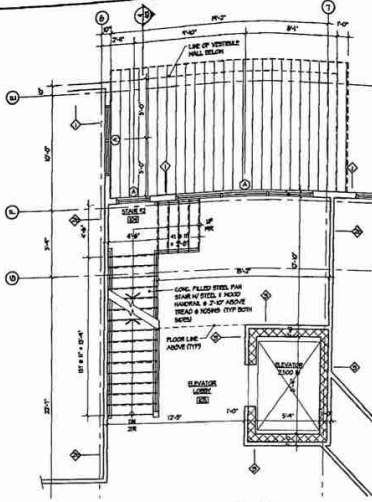
123 Sterling Avenue  
Greenport, New York

STAIR #1  
PLANS & SECTION

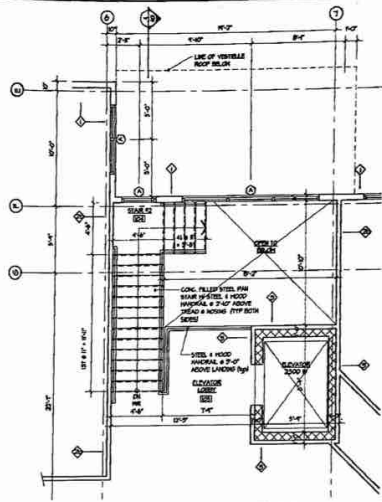
DATE	12/1/2016	<b>A-400</b>
SCALE	14 OF 24	
DRAWN BY	JVB	
CHECKED BY	DD	



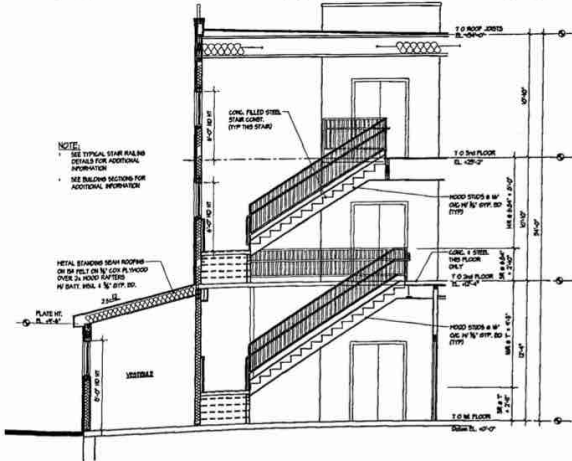
1  
401 STAIR #2 1st FLOOR PLAN  
1/4" = 1'-0"



2  
401 STAIR #2 2nd FLOOR PLAN  
1/4" = 1'-0"



3  
401 STAIR #2 3rd FLOOR PLAN  
1/4" = 1'-0"



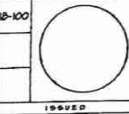
4  
401 STAIR #2 SECTION  
1/4" = 1'-0"

NOTE:  
SEE TYPICAL STAIR HALLS  
DETAILS FOR ADDITIONAL  
INFORMATION  
SEE BELOW SECTIONS FOR  
ADDITIONAL INFORMATION



**DAA**  
DiGiovanni &  
Associates  
Architects

36 BRONX AVENUE  
NEW YORK, NY 10473  
(212) 477-3624  
FAX: (212) 477-1138



REVISIONS	

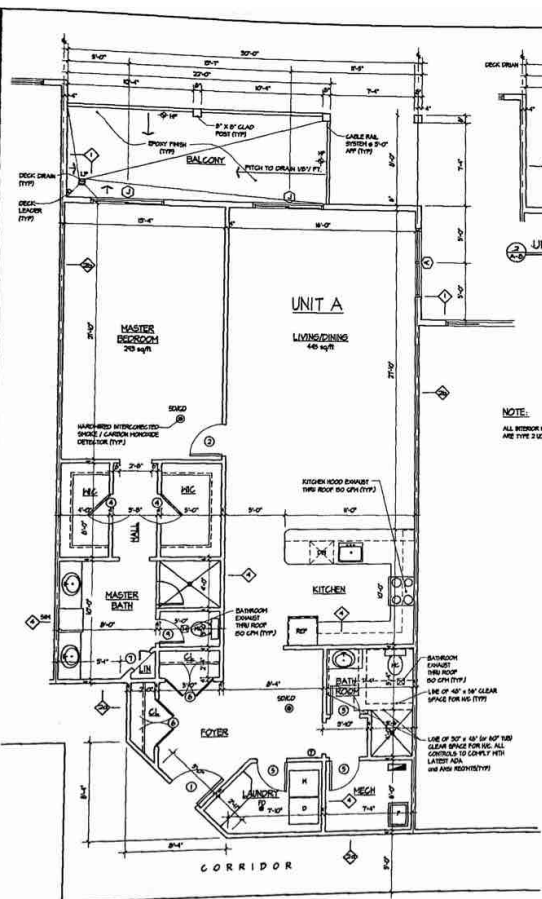
123 Sterling  
llc  
123 Sterling Avenue  
Greenport, New York

STAIR #2  
PLANS & SECTION

DATE: **A-401**

SCALE: 1/4" = 1'-0"

DESIGNED BY: JVB  
CHECKED BY: JVB  
DATE: 05/01/01



UNIT A - 2nd FLOOR PLAN  
8 BEDROOMS - 1484 SQ. FT. 14'4" x 11'0"

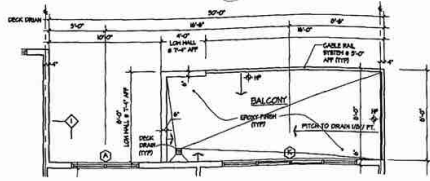
NOTE:  
ALL INTERIOR FINISHES  
ARE TYPE 2 (SEE SPEC)

LINE OF 50" x 60" (or 60" x 50")  
CLEAR SPACE FOR ICE. ALL  
CORRELAS TO COMPLY WITH  
LATEST ASHRAE  
AND AIAA RECOMMENDATIONS

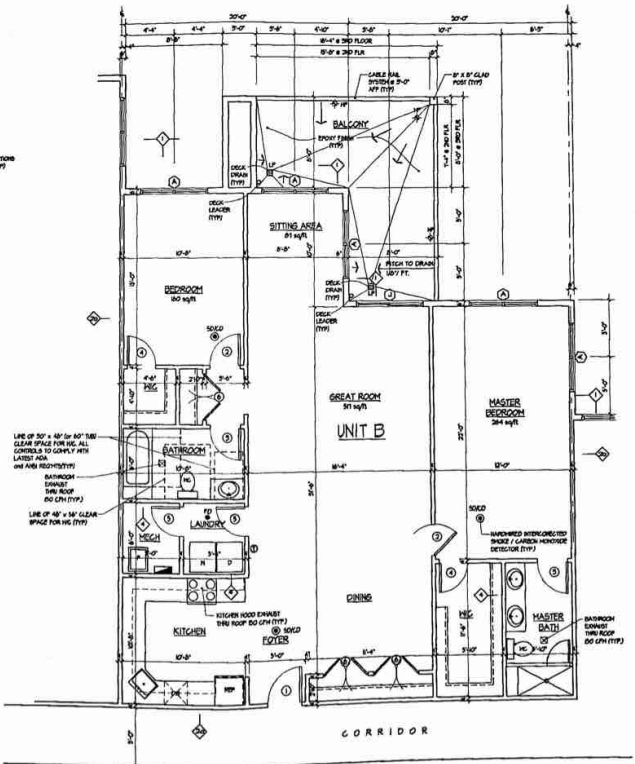
LINE OF 50" x 60" (or 60" x 50")  
CLEAR SPACE FOR ICE. ALL  
CORRELAS TO COMPLY WITH  
LATEST ASHRAE  
AND AIAA RECOMMENDATIONS

LINE OF 48" x 54" CLEAR  
SPACE FOR H.C. (TYPE)

LINE OF 48" x 54" CLEAR  
SPACE FOR H.C. (TYPE)



UNIT A - 3rd FLOOR BALCONY PLAN



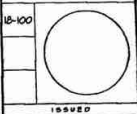
UNIT B  
12 BEDROOMS - 1394 SQ. FT. 14'4" x 11'0"

- LEGEND
- ⊙ SINK
  - ⊙ SHOWER
  - ⊙ TOILET
  - ⊙ ELECTRIC SINKLESS WATER HEATER BY OWNER OR APPROVED EQUAL, BRUSH-LESS
  - ⊙ FLOOR DRAIN

- NOTE:
1. DRAWING IS NOT A CONTRACT. TO BE FILED UNDER SEPARATE APPLICATION TO CONDOMINIUM ACT. DO NOT FOR THE 2nd FLOOR & GROUNDWATER RAILWAY GROUP 2 FOR ALL FLOOR. SEE SPECIFICS PLANS FOR ADDITIONAL INFORMATION.
  2. DRAWING IS NOT A CONTRACT. TO BE FILED UNDER SEPARATE APPLICATION TO CONDOMINIUM ACT. DO NOT FOR THE 2nd FLOOR & GROUNDWATER RAILWAY GROUP 2 FOR ALL FLOOR. SEE SPECIFICS PLANS FOR ADDITIONAL INFORMATION.

**DAA**  
DIGiovanni &  
Associates  
Architects

25 Preston Avenue  
Suite 207, NY 11279  
(516) 671-3624  
fax(516) 755-7138



REVISIONS

THIS PLAN HAS A NUMBER OF CHANGES AND ARE BE  
PROPERTY OF THE PROJECT. REVISIONS WILL BE  
PROCESSED

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND  
DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD SET  
AND CORRECT OF FORCE. NO ALLOWANCE SHALL BE MADE  
ON THE BEHALF OF THE CONTRACTOR OR ANY OTHER OR  
RESULT ON HIS PART.

123 Sterling  
llc  
123 Sterling Avenue  
Greenvort, New York

UNIT  
PLANS

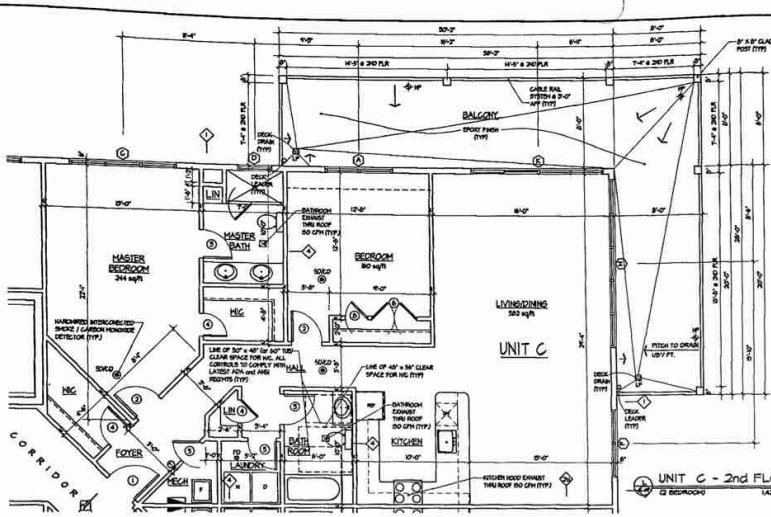
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AS NOTED

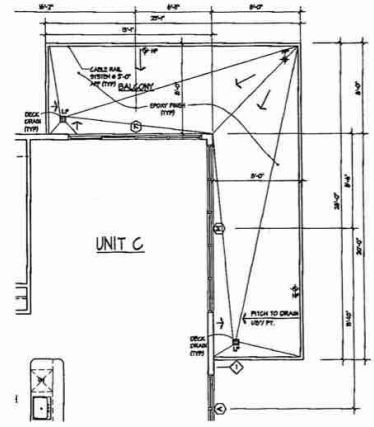
DATE: 10/07/20

DESIGNED BY: DD

CHECKED BY: DD

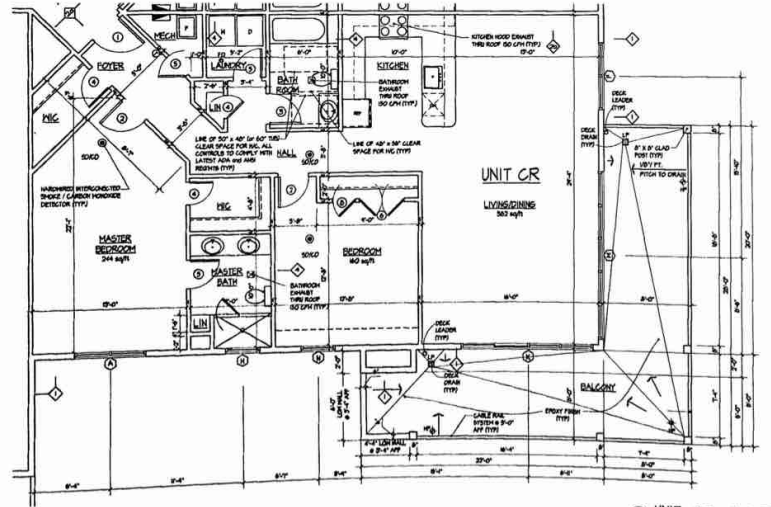


UNIT C - 2nd FLOOR PLAN  
 123 BR/ROOM  
 1428 SQ. FT. 14'4\"/>



UNIT C - 3rd FLOOR BALCONY PLAN  
 14'4\"/>

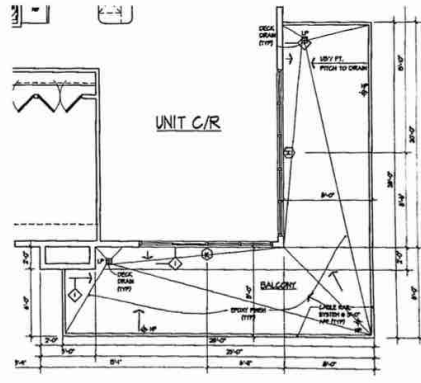
NOTE:  
 1. RAILING IS A NON-FRAMELESS SYSTEM TO CONFORM TO CONDOMINIUM REGULATIONS AND IS TO BE INSTALLED IN ACCORDANCE WITH THE BALCONY SYSTEM. SEE SECTION 05110 FOR DETAILS.  
 2. RAILING IS TO BE INSTALLED THROUGHOUT IN A FRAME SYSTEM. SEE SECTION 05110 FOR DETAILS.  
 3. RAILING IS TO BE INSTALLED THROUGHOUT IN A FRAME SYSTEM. SEE SECTION 05110 FOR DETAILS.



UNIT CR - 2nd FLOOR PLAN  
 123 BR/ROOM  
 1428 SQ. FT. 14'4\"/>

NOTE:  
 ALL WINDOW PARTITIONS  
 ARE TYPE 2 UNITS

- LEGEND
- - SHOCK RESISTANT CARBON MONOXIDE DETECTOR
  - - WINDOW
  - - ELECTRIC PANELS WATER HEATER BY RISK OR APPROVED EQUAL, SEE-G-10
  - - WOOD ELECTRIC PULLDOWN CABINET TYPICAL OR APPROVED EQUAL
  - - FLOOR DRAIN



UNIT CR - 3rd FLOOR BALCONY PLAN  
 14'4\"/>

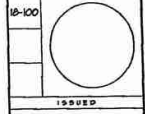
REVISIONS

NO.	DATE	DESCRIPTION

123 Sterling  
 llc  
 123 Sterling Avenue  
 Greenport, New York

UNIT  
 PLANS

DWG NO. **A-501**  
 DATE: 11/01/11  
 AS NOTED: 11/01/11  
 DRAWN BY: JG  
 CHECKED BY: JG



REVISIONS

NO.	DATE	DESCRIPTION

THIS PLAN AND ALL DIMENSIONS OF SPACE AND ARE THE PROPERTY OF THE ARCHITECT. APPROVED FOR THE PROJECT:

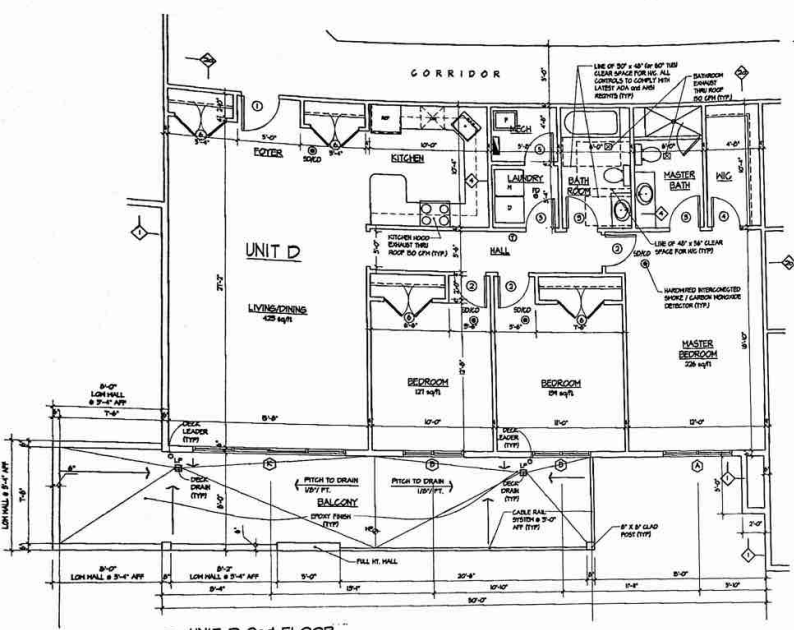
CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD ADJUSTMENTS AND CORRECTIONS. ALL DIMENSIONS SHALL BE AS SHOWN ON THE DRAWING OF THE CONTRACTOR FOR ANY DISCREPANCY OR FIELD CONDITIONS.

**123 Sterling Ilc**  
 123 Sterling Avenue  
 Greenvale, New York

**UNIT PLANS**

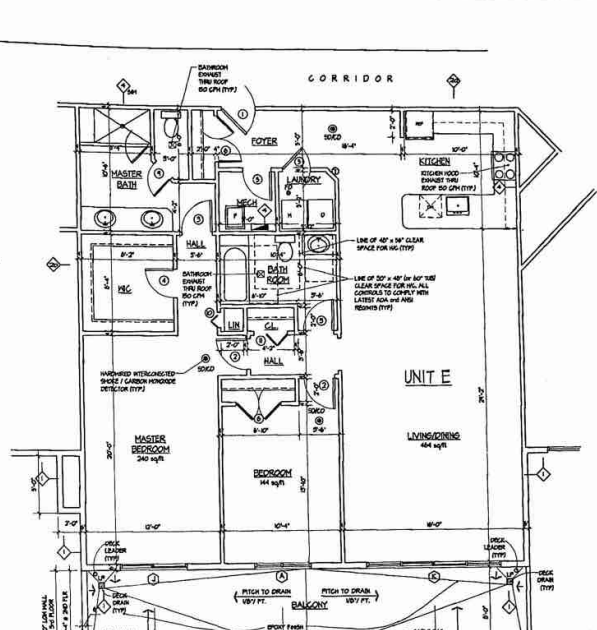
12/20/08  
 1/5/09  
 1/5/09

**A-502**

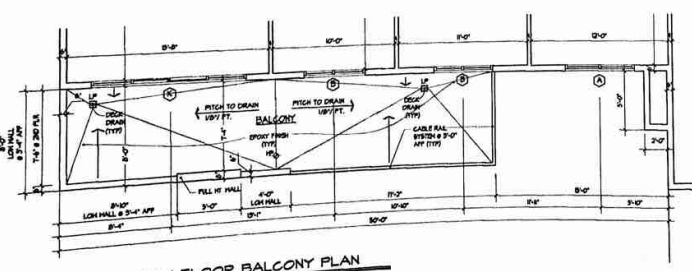


**UNIT D 2nd FLOOR**  
 1489 SQ. FT. 104'-11" x 14'-0"

NOTE:  
 ALL INTERIOR PARTITIONS ARE TYPE 2 LON (177)



**UNIT E**  
 1340 SQ. FT. 104'-11" x 12'-8"

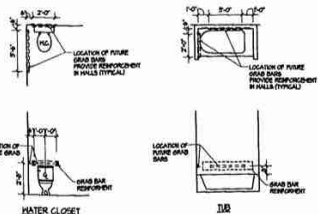
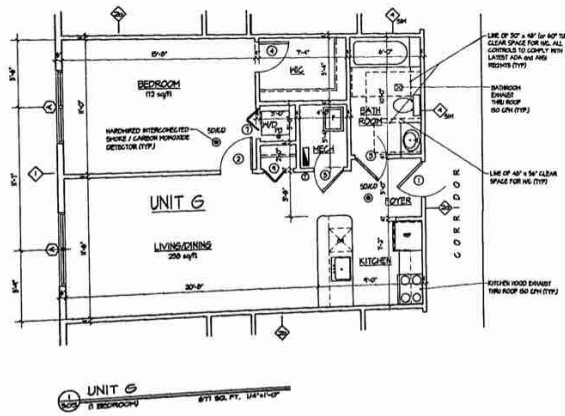
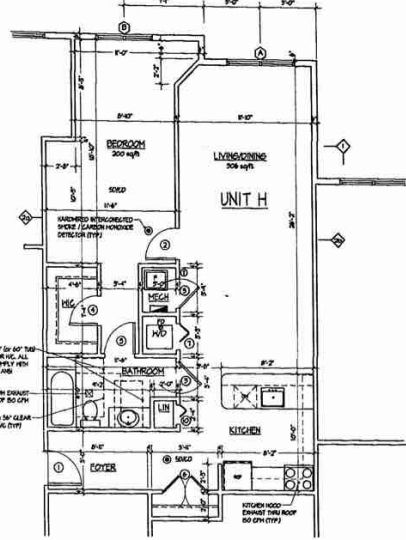
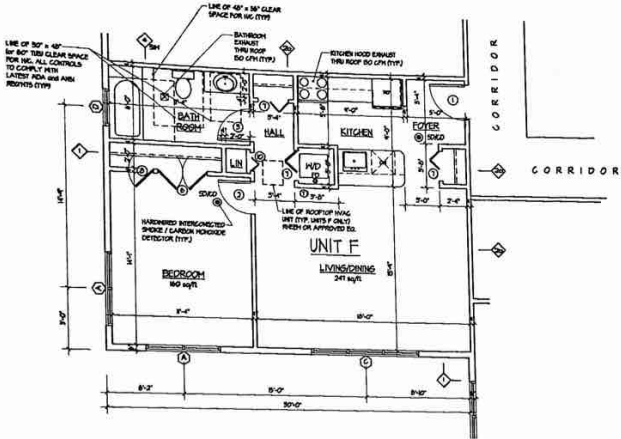


**UNIT D 3rd FLOOR BALCONY PLAN**  
 1489 SQ. FT. 104'-11" x 14'-0"

- LEGEND**
- - INTERCOMBINATION SMOKE DETECTOR
  - - SMOKE DETECTOR
  - - ELECTRIC SMOKELESS WATER HEATER BY PERCH OR APPROVED EQUAL, TYPE 201
  - - WASH ELECTRIC RANGE/STOVE OR APPROVED EQUAL
  - - FLOOR DRAIN

**NOTE**

- BUILDING IS EQUIPPED WITH SMOKE DETECTORS - TO BE FIELD WORK IDENTIFIED APPLICATION TO CORRIDOR TO PERCH OR APPROVED EQUAL TYPE 201 OR FOR THE 3rd FLOOR A CORRIDOR W/ WASH ELECTRIC RANGE/STOVE OR APPROVED EQUAL. SEE SCHEDULE PLANS FOR ADDITIONAL INFORMATION.
- BUILDING IS EQUIPPED WITH SMOKE DETECTORS - TO BE FIELD WORK IDENTIFIED APPLICATION TO CORRIDOR TO PERCH OR APPROVED EQUAL. SEE SCHEDULE PLANS FOR ADDITIONAL INFORMATION.



NOTE:  
PROVIDE REINFORCEMENT IN WALLS AS SHOWN FOR WATER CLOSET AND TUBS/SHOWERS FOR FUTURE INSTALLATION OF SEAT BARS - TO COMPLY WITH BY STATE CODES AND ILLINOIS AND CURRENT ADA REQUIREMENTS.

23 HANDICAP REINF DETAILS  
14'x11'-0"

- LEGEND
- ⊠ - SHOWER/STAINLESS STEEL DETECTOR (ITP)
  - ⊙ - THERM-O-STAT
  - ⊠ - ELECTRIC SWALLOWED WATER HEATER BY I.C. OR APPROVED EQUAL (ITP)
  - ⊠ - WIRELESS ELECTRIC FIRE/ALARM CONTROL TYPICAL OR APPROVED EQUAL
  - ⊠ - FLOOR DRAIN

NOTE:  
1. BATHROOM IS TO BE PROVIDED WITH SEPARATE APPLICATION TO COMPLY WITH I.C. 302 - SEE FOR UNIT 200 FLOOR PLAN. PROVIDE WIRELESS ELECTRIC FIRE/ALARM CONTROL TYPICAL OR APPROVED EQUAL FOR ACCESSIBILITY PURPOSES.  
2. BATHROOM IS TO BE PROVIDED WITH A FIRE ALARM SYSTEM TO BE FIELD INSTALLED. SEPARATE APPLICATION TO COMPLY WITH I.C. 302. SEE FIRE PLAN FOR ACCESSIBILITY INFORMATION.

**DAA** DiGiovanni & Associates Architects

28 Preston Avenue  
Suite 501, City 11279  
(516) 671-5424  
dga@161.com

15-100

15-B-100

REVISIONS

THIS PLAN AND ALL INFORMATION OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. REVISIONS SHALL BE PROVIDED.

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND CONDITIONS SHALL BE RECORDED FOR THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROJECT.

123 Sterling Ilc  
123 Sterling Avenue  
Greenport, New York

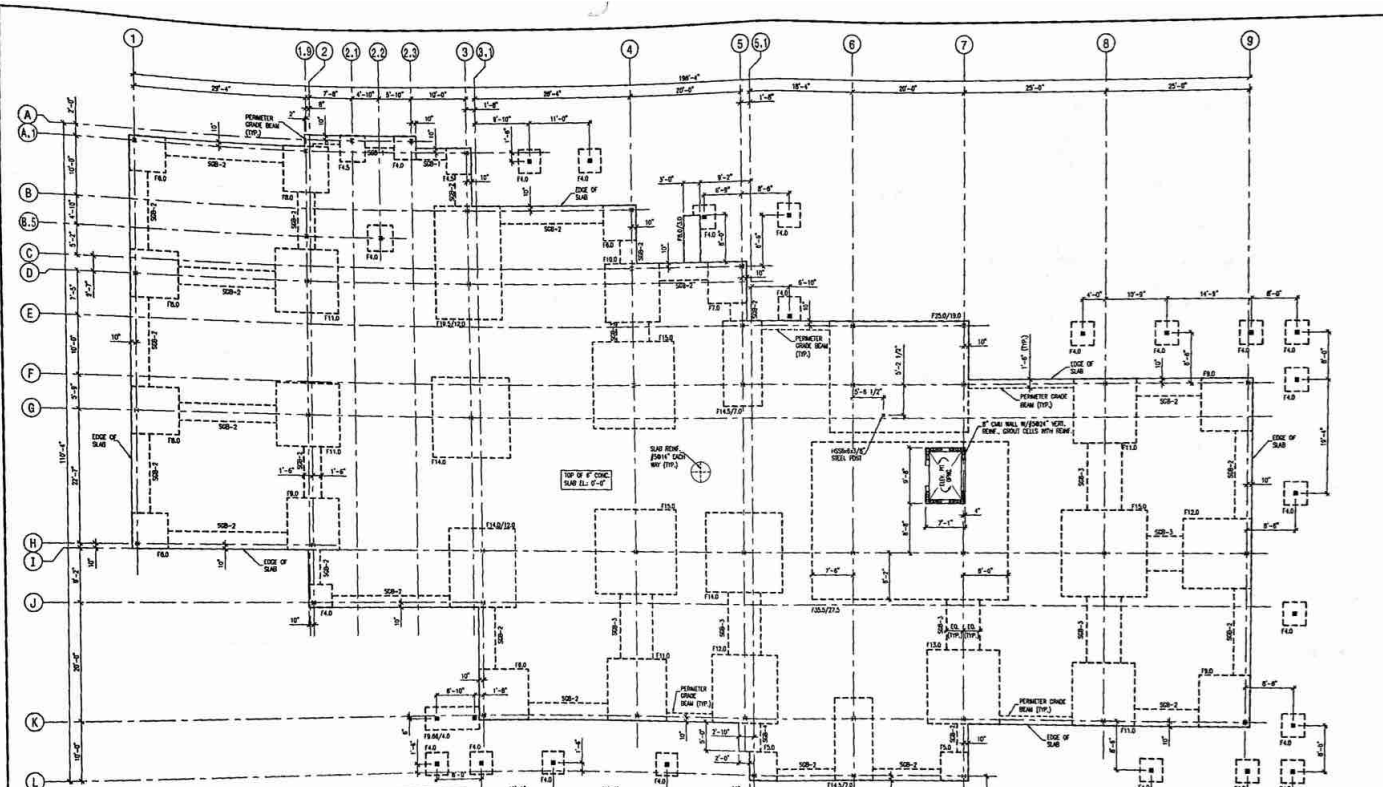
UNIT PLANS

12/2006  
P.L.S.  
AS NOTED

**A-503**

DATE: 12/06  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]





**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

MARK	SIZE	DEPTH	SIDE REINFORCEMENT		TOP REINFORCEMENT		NOTES
			LONG WAY	SHORT WAY	LONG WAY	SHORT WAY	
F10	4'-0" x 4'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F15	4'-0" x 4'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	5'-0" x 5'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	6'-0" x 6'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	7'-0" x 7'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	8'-0" x 8'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	9'-0" x 9'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	10'-0" x 10'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	11'-0" x 11'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	12'-0" x 12'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	13'-0" x 13'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	14'-0" x 14'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10	15'-0" x 15'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10/10	8'-0" x 2'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10/10	9'-0" x 4'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10/10	9'-0" x 4'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10/10	14'-0" x 10'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10/10	18'-0" x 7'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10/10	18'-0" x 14'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10/10	20'-0" x 14'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	
F10/10	20'-0" x 22'-0"	2'-0"	5-#3	5-#3	5-#3	5-#3	

MARK	SIZE		TOP REINFORCING	BOTTOM REINFORCING	STIRRUPS	ADJ. HORIZONTAL REINFORCING	ADJ. VERTICAL REINFORCING	REMARKS
	H	D						
S10-1	24"	24"	4-#7	4-#3	4-#4 @ 12"	12-#11	12-#11	long top bars to be hooked at all ends
S10-2	24"	24"	4-#7	4-#3	4-#4 @ 12"	12-#11	12-#11	long top bars to be hooked at all ends
S10-3	24"	24"	4-#7	4-#3	4-#4 @ 12"	12-#11	12-#11	long top bars to be hooked at all ends
S10-4	24"	24"	4-#7	4-#3	4-#4 @ 12"	12-#11	12-#11	long top bars to be hooked at all ends

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NOTES: ALL USE IN REMOVAL OF SPACES AND THE REPORT OF THE ARCHITECTS AND ENGINEERS SHALL BE THE BASIS OF THE CONTRACT AND THE CONTRACT SHALL BE VOID WITHOUT THEM.

123 Sterling  
Ic  
123 Sterling Avenue  
Greenport, New York

FOUNDATION PLAN

DATE: 22 OCT 21  
SCALE: 1/8" = 1'-0"  
DRAWN BY: JGD

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- BUILDING DESIGN IN ACCORDANCE WITH APPLICABLE REGULATIONS OF N.Y.C. BUILDING CODE.
- ALL WORK PERTAINING TO SHEETING, BRACING, SUPPORT OF ADJOINING LOTS AND SOAKWAYS, PLACEMENT OF BRACING SHALL BE DONE BY ENGINEER IN CHARGE OF SPECIAL INSPECTION DESIGN FOR SHEETING & BRACING.
- PROPER NOTICES SHALL BE GIVEN FOR PERFORMANCE OF THE SPECIAL INSPECTIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NYC BUILDING CODE. BEFORE ANY WORK IS COMMENCED ON AN ITEM OF CONSTRUCTION REQUIRING SPECIAL INSPECTION, ALL PERSONS RESPONSIBLE FOR SUCH SPECIAL INSPECTION SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO SUCH COMMENCEMENT.
- NOTICE SHALL BE PROVIDED BY THE PROJECTS OWNER TO ADJOINING PROPERTY OWNERS IN ACCORDANCE WITH THE NYC BUILDING CODE. NO FOUNDATION OF EARTHWORK PERMIT SHALL BE ISSUED UNLESS AND UNTIL AT LEAST FIVE DAYS PRIOR WRITTEN NOTICE OF THE PERMIT APPLICATION HAS BEEN GIVEN BY THE APPLICANT TO THE OWNERS OF ALL ADJOINING LOTS, BUILDINGS AND SERVICE FACILITIES WHICH MAY BE AFFECTED BY THE PROPOSED FOUNDATION WORK OR EARTHWORK OPERATIONS.
- NOTICE SHALL BE PROVIDED BY THE PROJECTS OWNER TO ADJOINING PROPERTY OWNERS IN ACCORDANCE WITH THE NYC BUILDING CODE: AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO COMMISSIONER BEFORE THE COMMENCEMENT OF ANY WORK FOR WHICH A PERMIT HAS BEEN ISSUED.
- ALL WORK PERFORMED IN CONNECTION WITH SHEETING, BRACING, UNDERPINNING, EXCAVATION SHALL ADHERE TO THE APPLICABLE PROVISIONS OF THE NEW YORK CITY BUILDING CODE, REGULATIONS OF THE NEW YORK STATE DEPARTMENT OF LABOR OF THE NEW YORK STATE DEPARTMENT OF LABOR AND OSHA.
- PRIOR TO COMMENCEMENT OF MASS EXCAVATION, THE ADJOINING PROPERTIES, AND STREETS SHALL BE VISUALLY SURVEYED BY THE CONTRACTOR, SUITABLY MARKED WITH PERMANENT MONITORING POINTS TO BE MEASURED DURING CONSTRUCTION FOR THE PURPOSES OF DETERMINING CONSTRUCTION-RELATED EFFECTS. REPORT WITH PHOTOGRAPHS SHALL BE PROVIDED TO ARCHITECT IN TRIPLICATE COPIES. A PRECONSTRUCTION CHANGE CONDITION SURVEY OF THE ADJOINING PROPERTIES SHALL BE MADE IN WRITTEN AND PICTORIAL FORM, AND TWO COPIES SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE.
- ANY WATER INFLOW INTO THE EXCAVATION SHALL BE CONTROLLED BY SHALING OR OTHER SUITABLE METHODS. DISPOSAL OF WATER LEVELS BEYOND THE EXCAVATED AREA IN ACCORDANCE WITH LOCAL REGULATION, THE PREVENT DISTRESS TO ADJOINING STRUCTURES.
- A COMPETENT REPRESENTATIVE OF THE CONTRACTOR SHALL INSPECT THE SUBGRADE OF THE EXCAVATION, ANY PERMITTING WORK AND BLOOMING, AT THE COMMENCEMENT OF EACH SHIFT, TO ASSURE INTEGRITY, PRIOR TO THE COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY EXCAVATION RESTRAINT REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. IF A SHEETING OR BRACING SYSTEM IS TO BE UTILIZED, THE DETAILS OF A SHOP DRAWING AND APPROVAL BY THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SUBGRADE CONDITIONS PRIOR TO START OF WORK. THESE DRAWINGS DISCOUNT UNDERGROUND WATER CONDITIONS (PER REQUEST OF OWNER), UPON COMPLETION OF EXCAVATION.
- THE ALTERATION DESIGN WORK FOR THIS BUILDING IS BASED ON REGULATIONS AND REQUIREMENTS OF 1938 NY CITY BUILDING CODE.

**STRUCTURAL STEEL NOTES**

- ALL STRUCTURAL STEEL WORK SHALL CONFORM WITH AISC SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS LATEST EDITION (ASO), AS AMENDED TO DATE, AND WITH THE NEW YORK BUILDING CODE.
- ALL STEEL ANGLES, PLATES AND CHANNELS TO BE GRADE ASTM-A36 (70-95 KSI), WIDE FLANGE BEAMS AND COLLARS TO BE GRADE ASTM-A992 (70-95 KSI), STEEL IBS POSTS TO BE GRADE ASTM-A500 GR. B, AND STEEL ROUND POSTS TO BE GRADE ASTM-A53 GR. B.
- SHOP CONNECTIONS-WELDED OR HIGH STRENGTH BOLTED, FIELD CONNECTIONS HIGH STRENGTH BOLTED UNLESS OTHERWISE SHOWN. ALL WELDED CONNECTIONS SHALL DEVELOP THE FULL STRENGTH OF THE MEMBERS, UNLESS OTHERWISE NOTED.
- BOLT STEEL SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATION, LATEST EDITION: HIGH STRENGTH BOLTS A-305 FRACTION TYP. WELDING ELECTRODES: AMERICAN WELDING SOCIETY A 5.1 E-70 SERIES.
- ALL SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS, AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE UNLESS OTHERWISE NOTED. ALL WELDS SHALL DEVELOP THE FULL STRENGTH OF THE MATERIALS BEING WELDED.
- THE FRAME SHALL BE CARRIED UP TRUE AND PLUMB, AND TEMPORARY BRACING SHALL BE INTRODUCED IN ORDER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRACING SHALL BE THE RESPONSIBILITY OF THE STEEL CONTRACTOR AND SHALL BE LEFT IN PLACE AS LONG AS REQUIRED FOR SAFETY.
- PROVIDE ALL REQUIRED PLATES, GUSSETS, STIFFENERS, BOLTS, BEAM FULLER METAL LINDERS, ETC., WHETHER SHOWN ON THE DRAWINGS OR NOT.
- THE MINIMUM ANGLE THICKNESS SHALL BE 3/8", THE MINIMUM BOLTS SHALL BE 3/4" DIA, AND THE MINIMUM WELD SHALL BE 1/4".
- ANCHORS, BASE PLATES OR BEARING PLATES SHALL BE LOCATED AND BUILT INTO CONNECTING WORK, PRE-SET BY TEMPLATES OR SIMILAR METHODS. ALL PLATES SHALL BE SET IN FULL BEDS OR NON-SHIMMING GROUT.
- STRUCTURAL MEMBERS WHICH REQUIRE SPRAY-ON FIRE PROOFING SHALL HAVE THE RATING INDICATED ON ARCH. DRAWINGS OR SPECIFICATIONS.
- SHOP DRAWINGS SHALL BE SUBMITTED AND APPROVED BEFORE FABRICATING OR ERECTING ANY WORK, ALL IN ACCORDANCE WITH THE SPECIFICATIONS.
- STRUCTURAL STEEL DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE FOR MOST SIMILAR SITUATIONS AS DETERMINED BY THE ARCHITECT.

**SPECIAL INSPECTIONS**

- PRIOR TO BEGINNING ANY WORK, THE OWNER SHALL RETAIN SERVICES OF ACCEPTABLE LICENSED PROFESSIONAL ENGINEER TO PROVIDE INSPECTIONS DURING CONSTRUCTION. THE INSPECTOR SHALL BE QUALIFIED AND APPROVED BY ENGINEER OF RECORD TO PERFORM SPECIAL INSPECTIONS AS REQUIRED BY NYC DC. QUALIFICATIONS SHALL INCLUDE A PROFESSIONAL LIABILITY INSURANCE COVERAGE OF 1 MILLION DOLLARS AND A MINIMUM PROVEN EXPERIENCE OF 5 YEARS WITH SIMILAR WORK.
- SPECIAL INSPECTION SERVICES SHALL BE PROVIDED BUT NOT LIMITED TO:
  - STRUCTURAL STEEL ERECTION AND BOLTING BC 1704.3.2, IC 1704.3.3
  - STRUCTURAL STEEL WELDING BC 1704.3.1
  - CONCRETE BC 1704.3.4
  - SOIL - SURVEILLANCE INSPECTION BC 1704.7.1
  - SOIL - INVESTIGATIONS (BORING/TEST PRESS) BC 1704.10
  - STRUCTURAL SAFETY AND STRUCTURAL STABILITY BC 1704.4
  - CONCRETE CAST-IN-PLACE BC 1605.8
  - CONCRETE TEST CYLINDERS BC 1605.8
  - CONCRETE DESIGN MIX
- THE SPECIAL INSPECTION ENGINEER SHALL DETERMINE WHETHER CONTRACTORS OR PERSONS UNDER HIS OR HER DIRECT AND WHETHER HE OR SHE SHOULD INSPECT THE SITE PERSONALLY OR SEND A PERSON UNDER HIS OR HER DIRECT SUPERVISION.

- THE SPECIAL INSPECTION ENGINEER, SHALL MAINTAIN A LOG IN HIS OR HER OFFICE WHICH INCLUDES THE FOLLOWING INFORMATION:
  - DATE AND TIME OF EACH INSPECTION FOLLOWING
  - ADDRESS OF THE PREMISES, JOB NUMBER, CONTRACTOR'S NAME AND ADDRESS,
  - NAME AND TITLE OF EACH INSPECTOR FOLLOWING
  - NAME(S) OF PERSONNEL WHO INSPECTED THE SITE, AND
  - ANY SIGNIFICANT OBSERVATIONS OR INSTRUCTIONS GIVEN RELATIVE TO ANY OF THE FOLLOWING:
    - DEVIATIONS FROM THE CONTRACT DOCUMENTS.
    - UNSATISFACTORY FIELD CONDITIONS.
    - PROPER EXECUTION OF THE WORK;
    - GOOD ENGINEERING PRACTICE;
    - SAFETY JOB-SITE CONDITIONS;
    - PRECAUTIONS TAKEN TO MAINTAIN SAFE CONDITIONS IF WORK IS STOPPED FOR ANY REASON.
  - THE DATE OF AND PARTICIPANTS IN ANY CONVERSATIONS WITH THE SPECIAL INSPECTION ENGINEER OCCURRING OFF-SITE AND RELATIVE TO ANY SIGNIFICANT OBSERVATIONS OR INSTRUCTIONS.
- THE SPECIAL INSPECTION ENGINEER SHALL RETAIN A COPY OF THE DOCUMENTS DESCRIBED ABOVE IN HIS OR HER OFFICE AND SHALL PROVIDE A COPY TO THE CONTRACTOR AND/OR OWNER TO BE KEPT AT THE CONSTRUCTION SITE.
- THE SPECIAL INSPECTION ENGINEER SHOULD FOR SPECIAL INSPECTION SHALL REPORT UNSAFE CONDITIONS TO THE DEPARTMENT OF BUILDINGS AND/OR ANY OTHER AFFECTED PARTIES OR AGENCIES.
- UPON REQUEST OF THE DEPARTMENT OF BUILDINGS, THE SPECIAL INSPECTION ENGINEER SHALL MAKE AVAILABLE DOCUMENTS AND THE LOG DESCRIBED ABOVE FOR REVIEW BY THE DEPARTMENT OF BUILDINGS.

**FOUNDATION NOTES**

- ALL FOOTINGS ARE TO REST ON SOIL HAVING A MIN. SAFE BEARING CAPACITY OF 1 TONS PER SQUARE FOOT. NO CONCRETE FOOTINGS AND FOUNDATION WALLS ARE TO BE POURED UNTIL SOIL IS INVESTIGATED.
- ISOLATED FOOTINGS SHALL BE LOWERED OR BASED, AND PILES SHALL BE ADDED, REDUCED OR INCREASED IN HEIGHT, ALL AS APPROVED BY THE ENGINEER, WHERE THE SPECIFIED BEARING CAPACITY IS FOUND AT A LOWER OR HIGHER ELEVATION THAN SHOWN ON THE PLANS.
- BACKFILLING AGAINST FOUNDATIONS SHALL NOT BE DONE UNTIL CONCRETE HAS ATTAINED SUFFICIENT STRENGTH AND WALLS ARE PROPERLY SHORED OR BRACED.
- EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN (VERTICAL) TO 2 (HORIZONTAL) SLOPE WITH RESPECT TO ANY ADJACENT FOOTINGS.
- THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS.
- THE DESIGN OF THE FOUNDATION IS BASED ON SOIL INVESTIGATION PRESENTED BY J.R. HOLZMEYER P.E., LLC DATED 11/29/18.

**CONCRETE NOTES**

- ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE CONCRETE INSTITUTE (CI) 318-11.
- ALL CONCRETE, EXCEPT AS SPECIFICALLY NOTED ON PLANS, SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH AS LISTED BELOW:
 

-FOOTINGS, STRAP/BRIDGE BEAMS	4000 PSI NORMAL WEIGHT
-FOOTING SEALERS	3000 PSI NORMAL WEIGHT
-SLAB ON GROUND	4000 PSI NORMAL WEIGHT
-FLOOR SLABS	4000 PSI LIGHT WEIGHT
- REINFORCING FOR REINFORCED CONCRETE ELEMENTS, UNLESS OTHERWISE SHOWN OR SPECIFIED, SHALL BE FURNISHED IN ACCORDANCE WITH ASTM-A618, GRADE 60 AND SHALL HAVE A MINIMUM YIELD POINT OF 60,000 PSI.
- REINFORCING FOR COLUMN TIES AND BEAM STIRRUPS SHALL BE DEFORMED IN ACCORDANCE WITH ASTM-A618, GRADE 40 AND SHALL HAVE A MINIMUM YIELD POINT OF 60,000 PSI.
- WELDED WIRE FABRIC SHALL HAVE A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI.
- MINIMUM REINFORCEMENT PROTECTION, UNLESS OTHERWISE SHOWN, SHALL BE 3/4" FOR SLABS AND INTERIOR FACES OF WALLS, 1-1/2" FOR BEAMS AND GIRDERS, 2" FOR EXTERIOR FACES OF WALLS, 3" FOR FOOTINGS AND ALL OTHER STRUCTURAL CONCRETE PARTS. UNLESS OTHERWISE SPECIFIED, ALL REINFORCEMENT SHALL BE PLACED UNDER THE REQUIRED PRELIMINARY TEST (PER NYC DC) HAVE BEEN MADE AND APPROVED.
- ALL STRUCTURAL MEMBERS SHALL BE PLACED FOR THEIR FULL DEPTH IN THE OPERATION CONSTRUCTION JOINTS, SUCH AS DAYS END AND POUR JOINTS, SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. MAIN REINFORCING SHALL RUN THROUGH THE JOINT. HOLLOW END AND START JOINTS TO EXPOSE ADEQUATE FOR CHEMICAL BOND, WET THOROUGHLY AND SLUSH JOINT WITH 1/2" WATER, 1/2" THICK, NOT MORE THAN 5 MINUTES BEFORE FRESH CONCRETE IS POURED AGAINST SURFACE.
- THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND WHERE REQUIRED, INSTALL ALL BUILT-UP WORK, SLEEVES, OPENINGS, INSERTS, ETC. AS REQUIRED FOR A CONCRETE JOB LOCATION OF SLEEVES AND OPENINGS NOT SHOWN ON PLANS IS SUBJECT TO APPROVAL OF STRUCTURAL ENGINEER.
- ALL REBARS IN SLAB TO BE SUPPORTED BY PLASTIC COATED CHAIRS PER ACI CODE.
- ALL REINFORCING SHALL BE DETAIL, FABRICATED AND PLACED, IN ACCORDANCE WITH ACI DETAILING MANUAL (LATEST EDITION).
- ALL REINFORCING SHALL BE SUPPORTED IN FORMS, SPACED WITH NECESSARY ACCESSORIES AND SHALL BE SECURELY WROTH TOGETHER, IN ACCORDANCE WITH CIP "MANUAL OF STANDARD PRACTICE" (LATEST EDITION).
- SUMP OF CONCRETE SHALL NOT EXCEED 4" UNLESS A HIGH RISE WATER-REDUCING ADJUTANT IS USED. THE SUMP OF WATER-REDUCING ADJUTANT SHALL NOT EXCEED 4". THE SUMP OF CONCRETE CONTAINING A HIGH RISE WATER-REDUCING ADJUTANT SHALL NOT EXCEED 8".
- CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED. AIR CONTENT SHALL BE BETWEEN 4 AND 8 PERCENT.
- CONCRETE AGGREGATE SIZE SHALL BE NO. 57 OR LARGER. CONTRACTOR SHALL SUBMIT MIX DESIGNS FOR REVIEW BY THE PROJECT MANAGER WELL IN ADVANCE OF CONCRETE PLACEMENT. CONCRETE MIX DESIGN SHALL INCLUDE ALL STRENGTH DATA NECESSARY TO SHOW COMPLIANCE WITH THE PROJECT SPECIFICATIONS FOR EITHER THE TRIAL BATCH OR FIELD EXPERIENCE METHOD.
- PROVIDE SHOP DRAWINGS SHOWING REINFORCEMENT & INSERTS.

**SLAB ON GRADE NOTES**

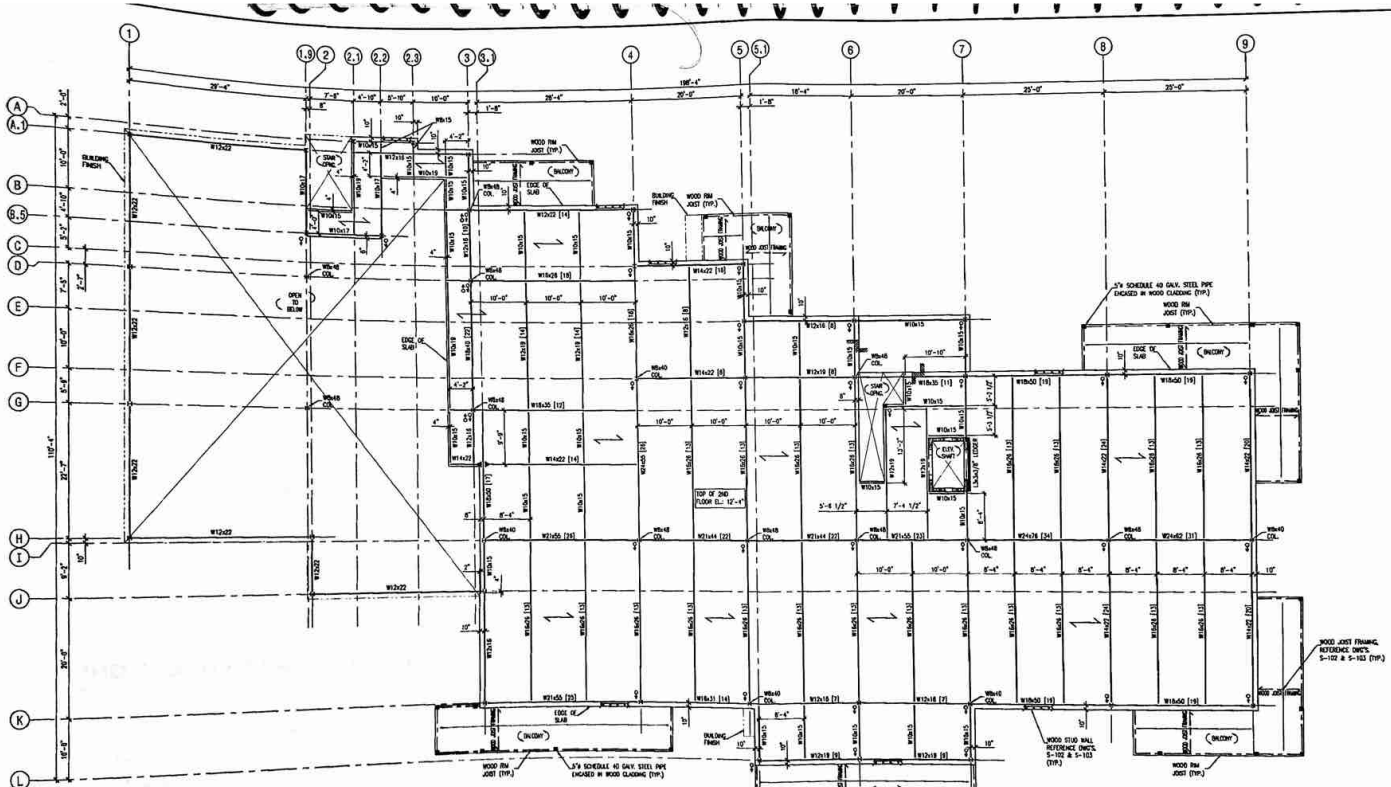
- FLOOR SLABS ON GROUND SHALL BE POURED TO THE THICKNESS SHOWN ON THE DRAWINGS ON VAPOR BARRIER.
- VAPOR BARRIER SHALL BE POLYETHYLENE PLASTIC HAVING A MINIMUM THICKNESS OF 8 MILS (0.008), FREE OF PINHOLES AND OTHER DEFECTS AND SHALL BE INSTALLED OVER COMPLETED FLOORING FILLING ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. ALL JOINTS SHALL BE LAPPED 12" AND TAPED.
- PROVIDE 8" THICK LAYER OF FERTILIZER FILL BENEATH ALL SLABS ON GROUND. CONTACT FILL TO SCREEN OF MAXIMUM DENSITY IN CONFORMANCE TO ASTM D1557-98. MATERIAL SHALL CONSIST OF SAND, DURABLE PARTICLES, FREE OF ORGANIC MATTER, RUBBLE AND ALL DELETERIOUS SUBSTANCES. MAXIMUM PARTICLE SIZE SHALL BE 3", LOOSE TO 60% BY WEIGHT RETAINED ON THE #10 SIEVE, LESS THAN 60% BY WEIGHT PASSING THE #60 SIEVE, AND NOT MORE THAN 10% BY WEIGHT PASSING THE #200 SIEVE.
- SLABS ON GROUND SHALL BE POURED IN CHECKERBOARD FASHION TO MINIMIZE THE SHRINKAGE. THE MAXIMUM AREA OF POUR SHALL BE 1000 SQUARE FEET WITH NO DIMENSION EXCEEDING 30 FEET.
- MAXIMUM OUTSIDE DIAMETER OF PIPE OR CONDUIT PLACED IN SLABS ON GROUND SHALL BE LIMITED TO ONE-THIRD THE THICKNESS OF THE SLAB. THE MINIMUM CONCRETE COVER TOP AND BOTTOM SHALL BE ONE-THIRD THE THICKNESS OF THE SLAB & PROVIDE A 1" THICKER SLAB FOR WIDTH OF 8" EACH SIDE OF JOINT AND A 3" x 3" CONTINUOUS KEY AT CONSTRUCTION JOINTS AND CONTINUE MESH THROUGH JOINTS.

**MASONRY NOTES**

- MASONRY UNITS SHALL BE CLEARLY IDENTIFIED TO SHOW THE GRADE OF UNIT AND THE COMPRESSIVE STRENGTH WHERE CALLED FOR ON PLANS. REINFORCING BARS SHALL BE BOLLED TO IDENTIFY GRADE OF STEEL AND SIZE, AND TAPED.
- MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS:
 

CONCRETE MASONRY UNITS	ASTM C140
SOLID LOAD-BEARING	ASTM C90
HOLLOW LOAD-BEARING	
CAST STONE	
HOLLOW NON LOAD-BEARING	ASTM C 129 (NO EXPOSURE)
- METAL ANCHORS AND TIES
 

ZINC COATING IN IRON OR STEEL	ASTM A172 1965
ZINC COATING ON WIRE	ASTM A118 1965
COPPER COATED WIRE GRADE 30 HS	ASTM D227 1963
- PROVIDE STANDARD GALVANIZED DWR-0-MALL REINFORCING EVERY OTHER COURSE, #9 GA WIRE EACH WAY.
- CONTROL JOINTS TO BE DWR-0-WALL RAPID CURE JOINT, OR APPROVED EQUAL.
- AT ALL WALL OPENINGS 4'-0" OR GREATER, FILL JAMS SOLID FULL MASONRY SOLID.
- MORTAR TO BE TYPE "M" OR "S", ASTM C270.
- ALL MASONRY TO BE PROPERLY BONDED AND BRACED.
- BONDING: ALL MULTIPLE WYTHE MASONRY WALLS BY THE FOLLOWING METHODS:
  - PREFRIGERATED JOINT REINFORCEMENT MIN. ONE CROSS WIRE EVERY MAXIMUM VERTICAL SPACING NOT TO EXCEED 16 INCHES.
  - CROFT BOND, BY PURGING BACK OF BRICK, SS-5-721 1994 FED SPECIFICATION
  - BRICK HEADERS WHERE SHOWN ON THE DRAWINGS.
- INTERSECTING WALLS AND PARTITIONS SHALL BE BONDED BY EITHER A TRUE MASONRY BOND BY LAYING AT LEAST 3 COURSES OF THE UNITS 3 IN. ON THE UNIT BELOW OR BY 1/4 IN. BY 1-1/2 IN. METAL ANCHORS, ENDS BEING UP 2 IN. OR CROSS WIRE ANCHORS 2 FT. LONG, MAXIMUM VERTICAL SPACING 4 FT. OF OTHER EQUIVALENT.
- WALLS AT JOINTS OR INTERSECTION STRUCTURAL FRAMING SHALL BE ANCHORED WITH FLEXIBLE METAL ANCHORS TO STRUCTURAL MEMBERS.
- CHANGES NOT TO BE DEEPER THAN 1/8 THE WALL THICKNESS.
- LINTELS TO HAVE MINIMUM BEARING ON WALL AT EACH END FOR AT LEAST 8 IN.
- PARAPET WALLS, ALL CELLS IN HOLLOW MASONRY UNITS TO BE FILLED SOLIDLY. PROVIDE JOINT REINFORCEMENT AT ALL CORNERS EXTENDING AT LEAST 4 FT. IN BOTH DIRECTIONS, PROVIDE COPING AND WEATHERPROOF, FLASHING, HEIGHT OF PARAPET NOT TO EXCEED THREE TIMES THE THICKNESS, UNLESS REINFORCED.
- PROVIDE TEMPORARY BRACING WHERE NECESSARY TO SUPPORT LOADS.
- MIX MORTAR FOR A MINIMUM OF 5 MILS. MORTAR MAY BE RETEMPERED BY ADDING WATER AND REMOVED. MORTAR SHALL BE USED WITHIN 2-1/2 HOURS OF INITIAL MIXING.
- THICKNESS OF MORTAR BETWEEN MASONRY UNITS AND REINFORCEMENT MIN. 1/4 IN. BARS OR WIRE 1/4 IN. OR LESS IN DIAMETER IMBEDDED IN HORIZONTAL MORTAR JOINTS SHALL HAVE AT LEAST 5/8 IN. HORIZONTAL COVER.
- PROTECT MASONRY DURING FREEZING OR NEAR FREEZING WEATHER. NO FROZEN MATERIALS SHALL BE USED. HEAT SAND OR WATER TO REMOVE FROST. MAINTAIN MIN. 40 DEG. F. AIR TEMP. ON BOTH SIDES FOR A PERIOD OF 48 HOURS IF TYPE N OR O MORTAR IS USED. DO NOT USE CHEMICALS TO LOWER FREEZING TEMPERATURE.
- STORE MATERIALS IN A MANNER THAT THEY ARE KEPT FREE OF EXCESSIVE DIRT AND WETNESS.
- MASONRY WORK SHALL PROCEED ONLY AFTER CERTIFICATE IDENTIFYING MASONRY STRENGTH & TYPE HAVE BEEN REVIEWED AND APPROVED BY STRUCTURAL ENGINEER.
- FILL MASONRY JOISTS SOLID UNDER ALL BEARING PLATES, ALSO ALL JAMBS, AND AT 2 BLOCKS MIN.
- WHERE BRICKS ARE MISSING AT EXISTING BRICK WALLS, FILL IN NEW BRICKS TO RESULT IN SOLID CONSTRUCTION OF MINIMUM THICKNESS REQUIRED. ALL SUCH BRICKS SHALL BE BONDED BY TOOTHING. PROVIDE SUCH REPAIRS THROUGHOUT AS NECESSARY.
- ALL REINFORCEMENT SPICES, MIN. 40 RE-BAR DIAMETER, 23. DESIGN PROVISIONS: a. WIRE WALL REINFORCEMENT #4 AT 48 INCHES ON CENTER, VERTICAL. b. DWR-0-WALL, #9 GA WIRE @ 18" ON-CENTRE REINFORC. c. 2/4" AROUND OPENINGS.



**2ND FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

- LEGEND:**
- INDICATES SHIP DIRECTION OF 18 GA METAL DECK (SEE LOADING SCHEDULE FOR JOIST BEAMS)
  - INDICATES STEEL BEAM ON STEEL JOIST. TOP OF STEEL BEAM EXTENSION TO BE 1/4" BELOW TOP OF SLAB EXTENSION UNLESS OTHERWISE NOTED ON PLAN.
  - |— INDICATES MOMENT CONNECTION
  - |— INDICATES WELDED STEEL COLUMN WELD ON PLATE
  - |— INDICATES 8" CHL WALL R/P/DRY" C/C WITH REINFORCEMENT
  - |— INDICATES STEEL COLUMN UP
  - |— INDICATES STEEL COLUMN DOWN
  - |— INDICATES 5" DIA. SCHEDULE 40 STEEL PIPE ENCASED IN WOOD CLADDING

**LOADING SCHEDULE  
HALLWAY/CORRIDOR**

3 1/4" x 1/4" CONCRETE SLAB	41 psf
STEEL BEAM	8 psf
FLOORING	5 psf
CEILING	5 psf
PARKING LOAD	80 psf
LIVE LOAD	100 psf
DECK	136 psf

**LOADING SCHEDULE  
RESIDENTIAL AREA**

3 1/4" x 1/4" CONCRETE SLAB	41 psf
TOP OF 3" STEEL COMP. DECK (18 GA.)	41 psf
STEEL BEAM	8 psf
FLOORING	5 psf
CEILING	5 psf
PARKING LOAD	80 psf
LIVE LOAD	40 psf
TOTAL	106 psf

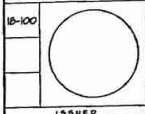
**LOADING SCHEDULE  
BALCONY AREA**

WOOD JOISTING & FLOOR JOISTS	10 psf
FLOORING	5 psf
LIVE LOAD	80 psf
WIND	30 psf

- NOTES:**
- 3" COMPOUND METAL DECK (18 GA.) MUST SPAN MINIMUM TWO BAYS (MINIMUM 12' AND MAXIMUM 18' BAY SPACING) OF METAL DECK.
  - WELDED STEEL BEAM TO STEEL JOIST CONNECTIONS MUST BE 4" x 4" x 1/4" SHARP EDGES AFTER AFTER 1/4" RADIUS SINCE STEEL JOIST EQUALS 180 DEGREE BEND AT 1/4" C/C IF STEEL JOIST TO BE PERPENDICULAR TRANSVERSE SPACING BETWEEN STEEL TO BE 3".

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**REVISIONS**

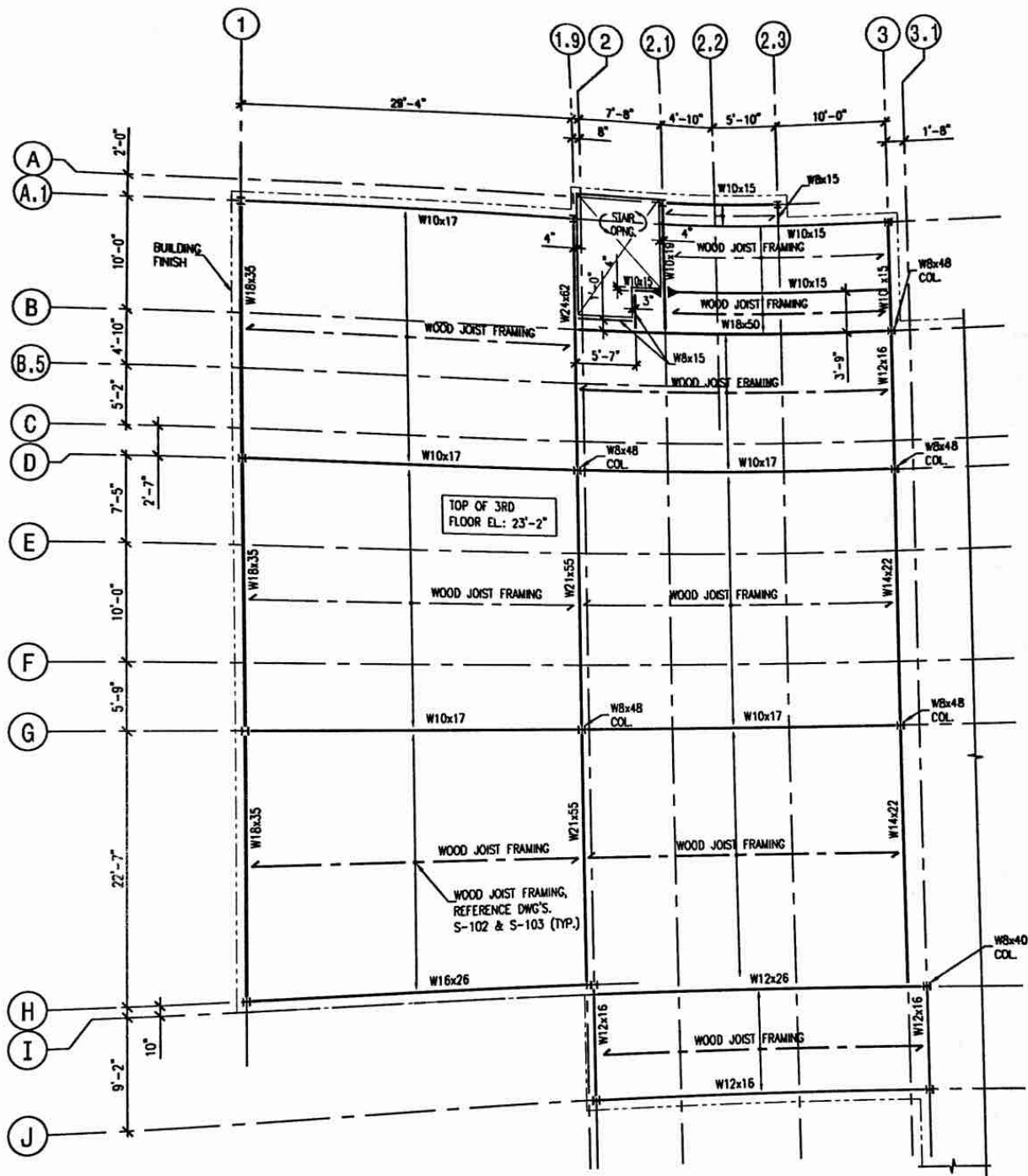
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**123 Sterling IIc**  
123 Sterling Avenue  
Greenport, New York

**2ND FLOOR FRAMING PLAN**

12/2000  
**S-100**

Drawn by: JVB  
Checked by: DD

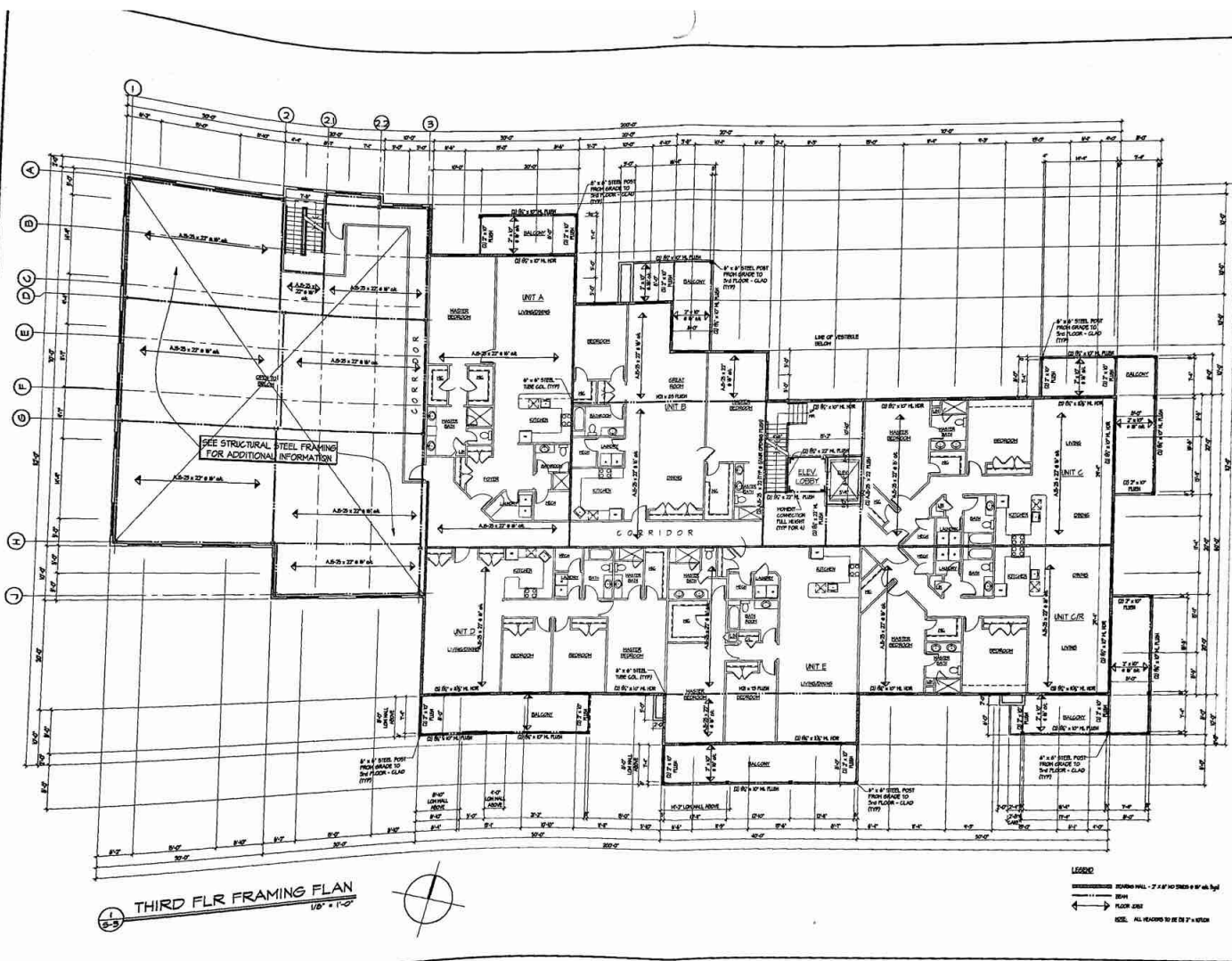


# 3RD FLOOR FRAMING PART PLAN

SCALE: 1/8" = 1'-0"

- LEGEND:**
- \* INDICATES STEEL BEAM OR STEEL LEDGER. TOP OF STEEL BEAM ELEVATION TO BE 5 1/4" BELOW TOP OF SLAB ELEVATION UNLESS OTHERWISE NOTED ON PLAN.
  - \* INDICATES MOMENT CONNECTION.
  - \* INDICATES W8x31 STEEL COLUMN U.D.N. ON PLANS.
  - ALL STEEL COLUMNS STOP AT THIS LEVEL.

LOADING SCHEDULE RESIDENTIAL AREA	
WOOD DECKING & FLOOR JOISTS	7 psf
STEEL BEAMS	5 psf
PARTITIONS	6 psf
FLOORING	5 psf
CEILING	2 psf
HANGING LOAD	5 psf
LIVE LOAD	40 psf
<b>TOTAL</b>	<b>70 psf</b>



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18-100

REVISIONS

THIS PLAN IS A BORROW OF SPACE AND IS THE PROPERTY OF THE OWNER. ANY CHANGES OR MODIFICATIONS SHALL BE MADE BY THE ARCHITECT. ALL DIMENSIONS AND LOCATIONS SHALL BE AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS ON THE GROUND.

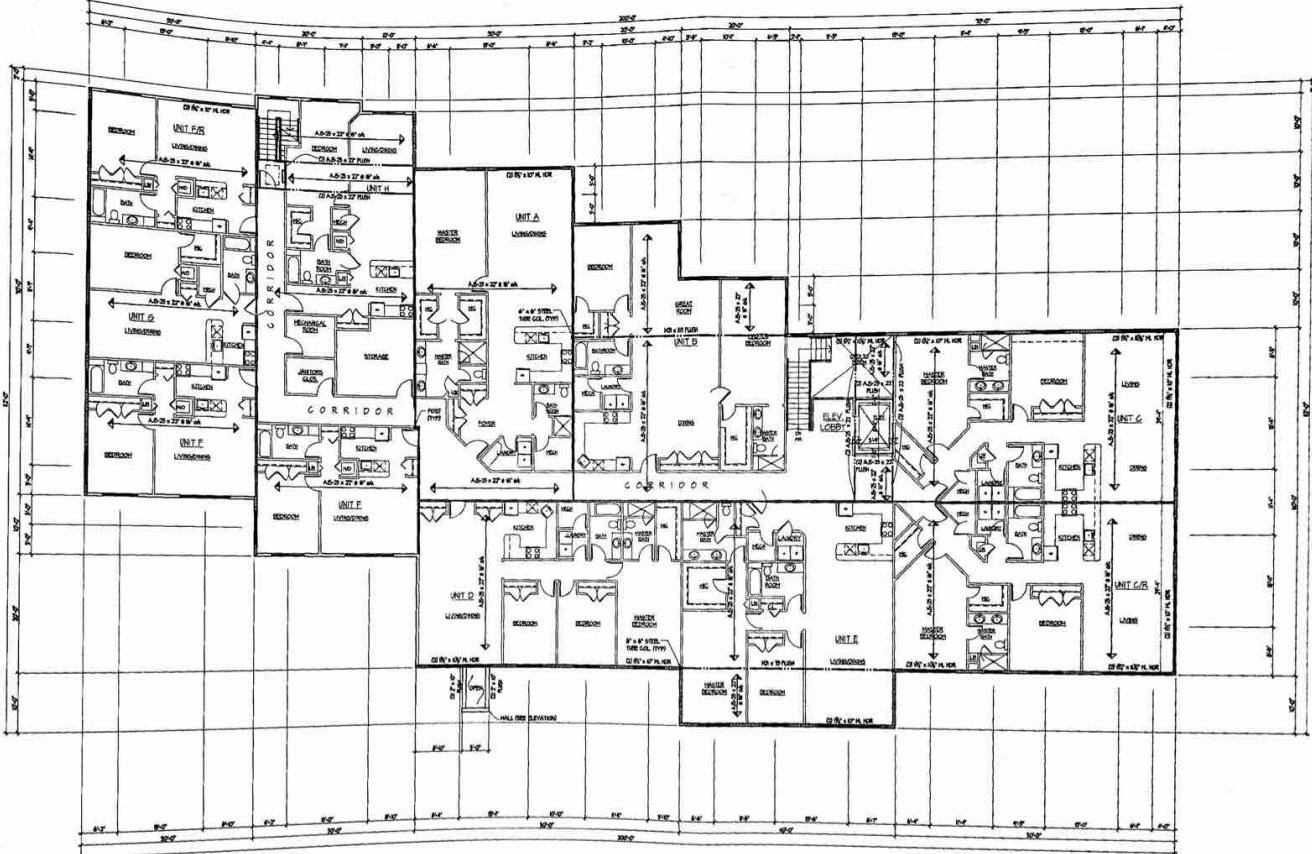
**123 Sterling Ilc**  
123 Sterling Avenue  
Greenport, New York

THIRD FLOOR  
FRAMING PLAN

DATE: 2-11-14  
**S-102**

SCALE: 1/8" = 1'-0"

DESIGNED BY: JAG  
CHECKED BY: DD

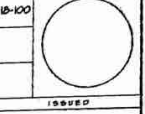


1 ROOF FRAMING PLAN  
1/8" = 1'-0"

LEGEND  
 DIMENSIONED BEARING WALL - 7" x 10" CMU @ 16" o.c.  
 BEARING WALL - 12" x 12" CMU @ 16" o.c.  
 FLOOR JOIST  
 WALL - ALL MEMBERS TO BE 12" x 16" o.c.

**DAA**  
 DiGiovanni &  
 Associates  
 Architects

26 Preston Avenue  
 Great Neck, NY 11079  
 (516) 461-7624  
 Fax (516) 759-7138



REVISIONS

THIS PLAN AND ALL INFORMATION OF CONTACT AND THE  
 PREPARED BY THE ARCHITECT AND/OR ALL OF  
 CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND  
 CONDITIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT  
 AND CORRECT AS NECESSARY. THE ARCHITECT SHALL BE  
 ON THE BEHALF OF THE CONTRACTOR FOR ANY WORK OR  
 MATERIALS NOT SHOWN.

123 Sterling  
 LLC  
 123 Sterling Avenue  
 Great Neck, New York

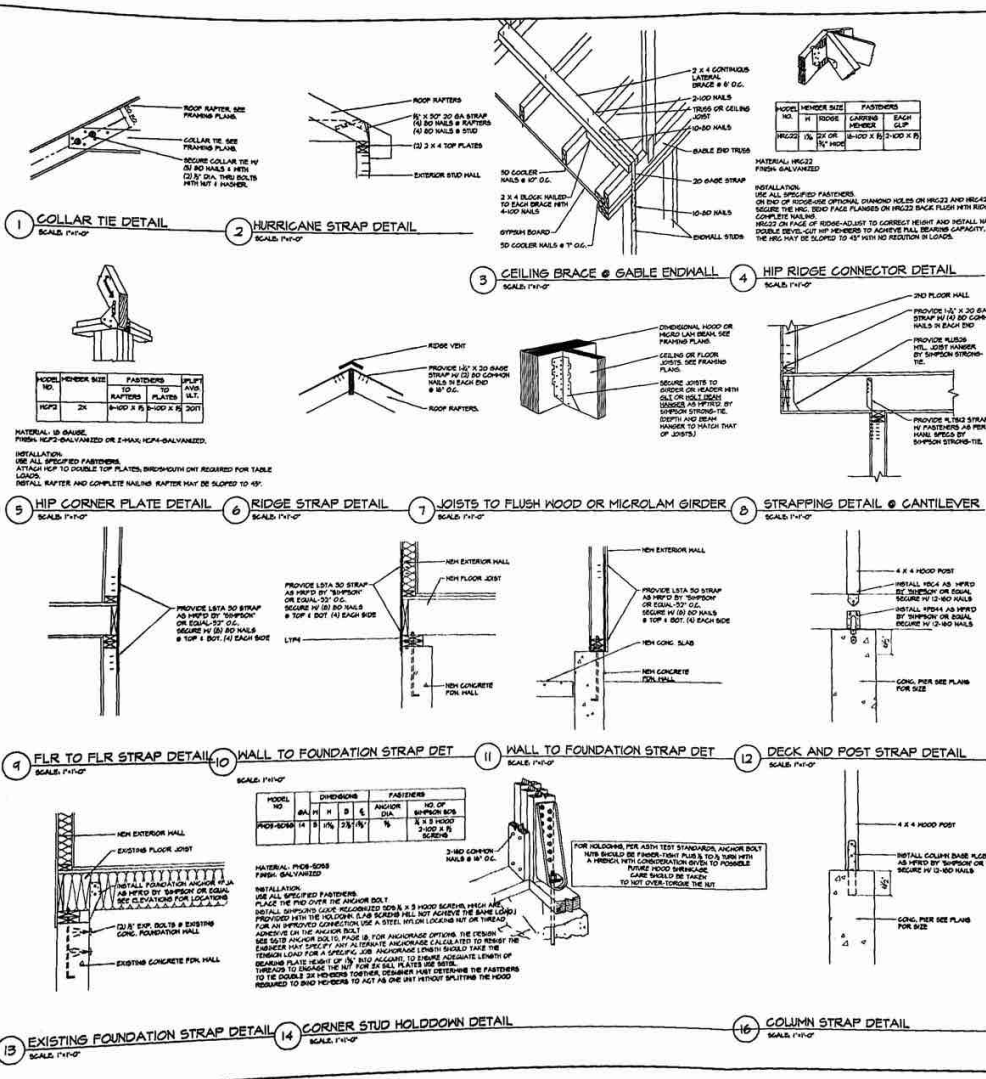
ROOF FRAMING  
 PLAN

DATE	<b>S-103</b>
BY	JH
CHECKED BY	CEJ









### NAILING SCHEDULE

JOINT DESCRIPTION	# OF COMMON NAILS	NAIL SPACING
<b>ROOF FRAMING</b>		
RAFTER TO TOP PLATE (SIDE-NAILED)	3-8D	PER RAFTER
CEILING JOIST TO TOP PLATE (SIDE-NAILED)	3-8D	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	3-8D	EACH LAP
CEILING JOIST LAYS OVER PARTITION (FACE-NAILED)	3-8D	EACH LAP
COLLAR TIE TO RAFTER (END-NAILED)	3-8D	PER END
RM BOARD TO RAFTER (END-NAILED)	3-8D	EACH END
<b>HALL FRAMING</b>		
TOP PLATE TO TOP PLATE (FACE-NAILED)	2-8D	PER JOIST
TOP PLATE AT INTERSECTIONS (FACE-NAILED)	2-8D	INTERSECTIONS
STUD TO STUD (FACE-NAILED)	2-8D	PER STUD
HEADER TO HEADER (FACE-NAILED)	2-8D	PER STUD
TOP OR BOTTOM PLATE TO STUD (END-NAILED)	2-8D	PER STUD
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, AND JOIST OR BLOSSOM (FACE-NAILED)	2-8D	PER FOOT
<b>FLOOR FRAMING</b>		
JOIST TO WALL, TOP PLATE ON GUSSET (FACE-NAILED)	4-8D	PER JOIST
BLOSSOM TO JOIST (FACE-NAILED)	2-8D	EACH END
BLOSSOM TO JOIST (FACE-NAILED)	2-8D	EACH END
BLUCCING TO JOIST (FACE-NAILED)	2-8D	EACH JOIST
LEADER STRIP TO BEAM (FACE-NAILED)	2-8D	PER JOIST
LEADER ON LEADER TO BEAM (FACE-NAILED)	2-8D	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (FACE-NAILED)	2-8D	PER JOIST
<b>ROOF SHEATHING</b>		
STRUCTURAL PANELS	8D	8" EDGE/4" FIELD
PLYWOOD PANELS	8D	8" EDGE/4" FIELD
PROVIDE NUBBS	3-8D	PER SUPPORT
PROVIDE NUBBS	3-8D	PER SUPPORT
<b>CEILING SHEATHING</b>		
GYPHUM HULLBOARD	30 COOLERS	1" EDGE/4" FIELD
<b>HALL SHEATHING</b>		
STRUCTURAL PANELS	8D	8" EDGE/4" FIELD
PLYWOOD PANELS	8D	8" EDGE/4" FIELD
GYPHUM HULLBOARD	30 COOLERS	1" EDGE/4" FIELD
AMERICAN SHEATHING	8D	8" EDGE/4" FIELD
DIAGONAL BOARD SHEATHING	3-8D	PER MANUFACTURER
DIAGONAL BOARD SHEATHING	3-8D	PER SUPPORT
<b>FLOOR SHEATHING</b>		
STRUCTURAL PANELS	8D	8" EDGE/4" FIELD
PLYWOOD PANELS	8D	8" EDGE/4" FIELD
DIAGONAL BOARD SHEATHING	3-8D	PER SUPPORT
DIAGONAL BOARD SHEATHING	3-8D	PER SUPPORT

**1** NAILING REQUIREMENTS ARE BASED ON WALL SHEATHING NAILED @ 8" O.C. AT THE PANEL EDGE. IF WALL SHEATHING IS NAILED @ 16" O.C. AT THE PANEL EDGE TO OBTAIN SHEAR CAPACITY, NAILING REQUIREMENTS FOR STRUCTURAL MEMBERS SHALL BE DOUBLED. ON ALTERNATE CONNECTIONS SUCH AS SHEAR PLATES SHALL BE USED TO MAINTAIN THE LOAD PATH.

**2** NEW WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS. THE TABLING OF 8" NAILS SHALL BE PERMITTED TO BE REDUCED TO 16" NAIL PER FOOT.

**3** CORROSION RESISTANT 16 GAUGE ROOFING NAILS AND 16 GAUGE STAPLES ARE PERMITTED. CHECK FOR ADDITIONAL REQUIREMENTS.

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND PRESSURE (PSF)	WIND DIRECTION	WIND EXPOSURE	WIND CATEGORY	DESIGN WIND SPEED (MPH)	DESIGN WIND PRESSURE (PSF)
30	30	15	0	1	1	30	15
35	35	18	0	1	1	35	18
40	40	21	0	1	1	40	21
45	45	24	0	1	1	45	24
50	50	27	0	1	1	50	27
55	55	30	0	1	1	55	30
60	60	33	0	1	1	60	33
65	65	36	0	1	1	65	36
70	70	39	0	1	1	70	39
75	75	42	0	1	1	75	42
80	80	45	0	1	1	80	45
85	85	48	0	1	1	85	48
90	90	51	0	1	1	90	51
95	95	54	0	1	1	95	54
100	100	57	0	1	1	100	57

**HIGH WIND ANALYSIS:**

MISCELLANEOUS PROJECT DATA

LOCATION: NEW YORK  
ELEVATION: 100 FT  
NEAR BY: NEW YORK  
DESIGNED ACCORDING WITH: 2015 IBC  
ROOF TYPE: GABLE  
ROOF FRAMING CONSTRUCTION MANUAL: CHAPTER 5  
COMPILED BY: PREScriptive DESIGN

**ROOF RAFTER/TRUSS TO TOP PLATE CONNECTION**  
(PREScriptive DESIGN)

WELT: 4" X 4" HOOD POST  
LATERAL LIGES: PER TABLE 2.5A  
WELT: PER TABLE 2.5A  
LATERAL LIGES: PER TABLE 2.5A

**HALL TO WALL CONNECTION**  
(PREScriptive DESIGN)

WELT: PER TABLE 2.5A  
LATERAL LIGES: PER TABLE 2.5A

**HALL ASSEMBLY TO FOUNDATION CONNECTION**  
(PREScriptive DESIGN)

WELT: PER TABLE 2.5A  
LATERAL LIGES: PER TABLE 2.5A

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Architects

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FAX: (516) 871-3118

18-100

18-512

**REVISIONS**

DATE: 10/15/2015  
BY: [Signature]  
DESCRIPTION: [Text]

**123 Sterling  
llc**

123 Sterling Avenue  
Greenport, New York

**STRAPPING  
DETAILS**

**S-201**

DATE: 10/15/2015  
BY: [Signature]  
DESCRIPTION: [Text]